

Knightsen Town Advisory Council

Andrew Steudle, Chair
Karen Reyna, Vice Chair
Kim Carone, Councilmember
Maria Jehs, Councilmember
VACANT SEAT



Andrew Steudle, Chair

Office of Supervisor Diane Burgis
Contact: Lea Castleberry
3361 Walnut Blvd., Suite 140
Brentwood, CA 94513
925-252-4500

*The Knightsen Town Advisory Council serves as an advisory body to the
Contra Costa County Board of Supervisors.*

Knightsen TAC AGENDA

**Tuesday, May 18, 2021
7:30p.m.**

To slow the spread of COVID-19, the Contra Costa County Health Officer's Shelter Order prevents public gatherings. In lieu of a public gathering, the Knightsen Town Advisory Council Meeting will be accessible via teleconference to all members of the public as permitted by the Governor's Executive Order N-29-20.

Board meetings can be accessed via Zoom:

<https://cccouny-us.zoom.us/j/2830849836>

or

**Dial In: (888) 278-0254
Conference code: 142291**

To access the full agenda packet, please visit:

<https://www.contracosta.ca.gov/AgendaCenter/ViewFile/Agenda/3423?html=true>

The Knightsen Town Advisory Council will provide reasonable accommodations for persons with disabilities planning to attend the meeting. Please contact Lea Castleberry at least 72 hours before the meeting at (925) 252-4500.

Materials distributed for the meeting are available for viewing at the District III Brentwood Office.

1. Call to Order/Roll Call

2. Approval of Agenda

3. Public Comment (3 minutes per speaker) *Time is allotted under Public Comment for those persons who wish to speak for up to three minutes on any item NOT on the agenda. Persons who wish to speak on matters on the agenda will be heard for up to three minutes when the Chair calls for comments. After persons have spoken on an agenda item, the hearing can be closed by the Chair and the matter is subject to discussion and action by the TAC. Persons wishing to speak are requested to fill out a speaker card.*

4. Agency Reports

- a. Contra Costa Sheriff's Department
- b. California Highway Patrol
- c. East Contra Costa Fire Protection District
- d. Contra Costa County Code Enforcement
- e. Knightsen Community Services District
- f. Office of Supervisor Diane Burgis

5. Consent Items

All matters listed under Consent Items are considered by the TAC to be routine and will be enacted by one motion. There will be no separate discussion of these items unless requested by a member of the TAC or a member of the public prior to the time the TAC votes on the motion to adopt.

- a. APPROVE Draft Record of Actions – February 16, 2021

6. Presentations

- a. None.

7. Items for Action and/or Discussion

- a. Agency Comment Request CDLP21-02005: Applicant requests approval for a Land Use Permit to allow the continued operation of an existing dude ranch/horse boarding facility. No new improvements proposed. (*Applicant, Christopher Manuel*)
- b. 2021 Knightsen Community Clean-Up Day
- c. Downtown Knightsen Beautification (*Chair, Andrew Steudle*)
- d. Discuss ideas for future community events

8. Committee Reports/Member Reports

- a. Code Enforcement

9. Correspondence (R= Received S=Sent)

- a. R-02/11/21 County Zoning Administrator Agenda for February 17, 2021
- b. R-02/11/21 County Planning Commission Cancellation Notice for February 24, 2021
- c. R-02/22/21 County Zoning Administrator Agenda for March 1, 2021
- d. R-03/03/21 Letter from Knightsen Resident
- e. R-02/23/21 County Planning Commission Cancellation Notice for March 10, 2021
- f. R-03/10/21 County Zoning Administrator Agenda for March 15, 2021
- g. R-03/12/21 Notice of Public Hearing for March 24, 2021
- h. R-03/17/21 County Planning Commission Agenda for March 24, 2021
- i. R-03/26/21 Letter from Diablo Water District

- j. R-03/30/21 County Zoning Administrator Agenda for April 5, 2021
- k. R-04/07/21 County Planning Commission Cancellation Notice for April 14, 2021
- l. R-04/15/21 County Zoning Administrator Agenda for April 19, 2021
- m. R-04/23/21 County Planning Commission Agenda for April 28, 2021
- n. R-04/29/21 County Zoning Administrator Agenda for May 3, 2021
- o. R-05/05/21 County Planning Commission Agenda for May 12, 2021
- p. R-05/04/21 Notice of Public Hearing for May 17, 2021

10. Future Agenda Items

11. Adjourn

Knightsen Town Advisory Council



Andrew Steudle, Chair

Office of Supervisor Diane Burgis
Contact: Lea Castleberry
3361 Walnut Blvd., Suite 140
Brentwood, CA 94513

Respectfully submitted by:
Deputy Chief of Staff, Lea Castleberry

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Contra Costa County Board of Supervisors and the County Planning Agency.*

Draft Record of Actions

7:32 p.m.

February 16, 2020

MEMBERS PRESENT: Chair Andrew Steudle, Vice Chair Karen Reyna, Councilmember Kim Carone, and Councilmember Maria Jehs.

MEMBERS ABSENT:

APPROVAL OF AGENDA: Motion to approve the agenda as presented made by Vice Chair Reyna. Second made by Councilmember Jehs. Motion carried: 4-0. AYES: Carone, Jehs, Reyna and Steudle.

PUBLIC COMMENT:

Paul Kunkel – Would like KTAC to consider how their meetings are ran.

Brynn Bollinger – Concerns with Heritage Tree

Gil Somerhalder – Concerns with item 6.a.

AGENCY REPORTS:

- a. **Office of the Sheriff:** Lt. Johnson provided the activity report for the month of January.
Public Comment:
Trish Bello-Kunkel – Noise or party complaints are on Blaine Lane.
Brynn Bollinger – speeding on Delta Road.
- b. **California Highway Patrol:** Officer Donnie Thomas provided the activity report for the month of January.
- c. **East Contra Costa Fire Protection District:** Battalion Chief Ross Macumber provided the activity report for the month of August. Director Steve Smith provided an update on the East Contra Costa Fire Board policies and activities.
- d. **Knightsen Town Community Services District:** Chair, Trish Bello-Kunkel reported the next KTCSD will be held March 4, 2021.
- e. **Office of Supervisor Diane Burgis:** Lea Castleberry, Deputy Chief of Staff reported on the Industrial Hemp Moratorium and Redistricting.

CONSENT ITEMS:

- a. **Approval of the Record of Actions from October 20, 2020:** Motion to correct item “e” under Agency Reports to read – eucalyptus tree trim, not removal; and correct spelling errors made by Councilmember Jehs. Second made by Councilmember Steudle. Motion carried: 4-0. AYES: Carone, Jehs, Reyna and Steudle.
- b. **Approval of Record of Actions from Special Meeting on October 27, 2021:** Motion to correct spelling errors and approve made by Councilmember Jehs. Second made by Councilmember Steudle. Motion carried: 4-0. AYES: Carone, Jehs, Reyna and Steudle.
- c. **Approval of Record of Actions from January 19, 2021:** Motion to correct spelling errors and approve made by Councilmember Jehs. Second made by Councilmember Steudle. Motion carried: 4-0. AYES: Carone, Jehs, Reyna and Steudle.

PRESENTATIONS:

- a. **Envision Contra Costa 2040, General Plan Amendment:** Will Nelson and Daniel Barrios from the Department of Conservation and Development provided the following overview:
 - o What is the General Plan?
 - o Why Update the General Plan Now?
 - o 4 Themes Throughout New Plan
 - o Land Use Map

This meeting record is provided pursuant to Better Government Ordinance 95-6, Article 25-2.205(d) of the Contra Costa County Ordinance Code.

- Land Use Map
- What is the Zoning Code?
- Climate Action Plan Update
- EIR
- Opportunity for Public Involvement
- Online Participation

Public Comment:

Trish Bello-Kunkel – concerned with 100-year flood zone and request overlay to reflect KTAC boundary.

Sandra Maxfield – Flood Zone concerns with portraying flooding in Knightsen.

Paul Kunkel – too much focus on flooding in Knightsen. Wants more focus on pot farms, speeding, illegal dumping and wetlands.

- b. **Update on Covid-19 for Contra Costa County:** Lea Castleberry, Office of Supervisor Diane Burgis provided an update on Covid-19 Vaccinations and Shelter-In-Place Order for Contra Costa County.

ITEMS FOR DISCUSSION AND/OR ACTION:

- a. **Update on Downtown Knightsen Beautification:** Chair Steudle reported the solar light was installed and portable water troughs would be installed possibly next month.

COMMITTEE REPORTS/MEMBER REPORTS

- a. **Code Enforcement:** Chair Carone - RV storage on agricultural property is acceptable but housing in RV's is prohibited; gatherings/parties of 40 people or less would not be a code violation.

Public Comment:

Chet Holm – concerned with a structure on E. Cypress and Contra Costa Canal.

CORRESPONDENCE/ANNOUNCEMENTS

- a. R-01/21/21 County Planning Commission Agenda for January 27, 2021
- b. R-01/25/21 County Zoning Administrator Agenda for February 1, 2021
- c. R-02/03/21 County Planning Commission Agenda for February 10, 2021

FUTURE AGENDA ITEMS

Community Events

Knightsen Heritage Tree

ADJOURNMENT

There being no further business before the Knightsen Town Advisory Council, Chair Steudle adjourned the meeting at 9:08pm. The March Knightsen TAC meeting will be cancelled. The next regularly scheduled Knightsen Town Advisory Council meeting on April 20, 2021 at 7:30p.m. and location to be determined due to Covid-19.



AGENCY COMMENT REQUEST

Date _____

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

| | |
|---|--|
| <input checked="" type="checkbox"/> Building Inspection | Grading Inspection |
| <input checked="" type="checkbox"/> Advance Planning | Housing Programs |
| Trans. Planning Outside ULL | Telecom Planner |
| ALUC Staff | <input checked="" type="checkbox"/> HCP/NCCP Staff |
| APC PW Staff | County Geologist |

HEALTH SERVICES DEPARTMENT

☒ Environmental Health ☒ Hazardous Materials

PUBLIC WORKS DEPARTMENT

☒ Engineering Services (1 Full-size + 3 email Contacts)
Traffic
Flood Control (Full-size) Special Districts

LOCAL

☒ Fire District East Contra Costa

San Ramon Valley – (email) rwendel@srvfire.ca.gov

Consolidated – (email) fire@cccfd.org

☒ East CCC – (email) brodriguez@cccfd.org

Sanitary District _____

Water District _____

City of _____

School District(s) _____

LAFCO

Reclamation District # _____

East Bay Regional Park District

Diablo/Discovery Bay/Crockett CSD

☒ MAC/TAC knightsen

Improvement/Community Association

☒ CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

CHRIS (email only: nwic@sonoma.edu)

☒ CA Fish and Wildlife, Region 3 – Bay Delta
Native American Tribes **In Delta Plan area**

ADDITIONAL RECIPIENTS

Please submit your comments to:

Project Planner Susan Johnson

Phone # 925- 655-2870

E-mail Susan.Johnson@dcd.cccounty.us

County File # CDLP21-02005

Prior to May 20, 2021

We have found the following special programs apply to this application:

Active Fault Zone (Alquist-Priolo)

Flood Hazard Area, Panel # _____

60-dBA Noise Control

CA EPA Hazardous Waste Site

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below Attached

Print Name _____

Signature _____

DATE _____

Agency phone # _____



Planning Application

Department of Conservation and Development

Community Development Division

30 Muir Road

Martinez, CA 94553

(925) 674-7200

www.cccounty.us

PROJECT DATA

Total Parcel Size: _____

Proposed Number of Units: _____

Proposed Square Footage: _____

Estimated Project Value: _____

TYPE OF APPLICATION (Mark all that apply):

☐ ACCESSORY DWELLING UNIT

☐ ADMINISTRATIVE REVIEW
(former Redevelopment Area)

☐ CERTIFICATE OF COMPLIANCE

☐ COMPLIANCE REVIEW

☐ DEVELOPMENT PLAN

☐ GENERAL PLAN AMENDMENT/FEASIBILITY STUDY

☒ LAND USE PERMIT

☐ LOT LINE ADJUSTMENT

☐ MAJOR ☐ MINOR SUBDIVISION

☐ PLANNING CONSIDERATION

☐ REZONING

☐ TREE PERMIT

☐ VARIANCE

☐ WIRELESS _____

☐ OTHER _____

PROPERTY OWNER OR AGENT AUTHORIZATION

NAME: Christopher Manuel

ADDRESS: 2300 Cummings Rd.

CITY, STATE: Brentwood, CA ZIP: 94513

PHONE #: (925) 628-4889

EMAIL: christopher.manuel2011@gmail.com

APPLICANT (MAIN CONTACT INFORMATION)

NAME: Christopher Manuel

ADDRESS: 2300 Cummings Rd.

CITY, STATE: Brentwood, CA ZIP: 94513

PHONE #: (925) 628-4889

EMAIL: christopher.manuel2011@gmail.com

☒ I am the property owner and hereby authorize the filing of this application.

☐ Check here if billings are to be sent to applicant rather than owner.

SIGNATURE: _____

SIGNATURE: _____

Project Description:

Application for Land Use Permit

*****FOR OFFICE USE ONLY*****

Project Description:

Request for approval of a Land Use Permit to allow the continued operation of an existing dude ranch/horse boarding facility. No new improvements proposed.

Property Description:

Parcel B of MS96-75

| | TYPE OF FEE | FEE | CODE | ASSESSOR'S #: 020-210-023 |
|---------------------------------------|--|-----------------|-------|---|
| Area: <u>Knightsen</u> | *Base Fee/Deposit | \$5,500 | S- | Site Address: <u>2300 Cumming Road</u> |
| Fire District: <u>E. Contra Costa</u> | Late Filing Penalty (+50% of above if applicable) | \$ | S-066 | Zoning District: <u>A-2</u> |
| Sphere of Influence: <u>N/A</u> | ½% Est. Value over \$100,000 | \$ | S-029 | General Plan: <u>AL</u> |
| Flood Zone: <u>X</u> | #Units/Lots _____ x \$ _____ Sq. Ft. x \$ _____ | \$ | S-014 | Census Tract: <u>3031.03</u> |
| x-ref Files: <u>BIRF20-00411</u> | Notification Fee | \$15.00/\$30.00 | S-052 | Substandard Lot: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| | Fish & Game Posting (if not CEQA exempt) | \$75.00 | S-048 | Supervisory District: <u>3</u> |
| | Environmental Health Dept. | \$57.00 | 5884 | Received By: <u>Dominique Vogelpohl</u> |
| Concurrent Files: | TOTAL | \$ 7,662 | | Date Filed: <u>2/2/2021</u> |
| | *Additional fees based on time and materials will be charged if staff costs exceed base fee. receipt #: 210001595 | | | File #: <u>CDLP21-02005</u> |

APPLICATION SUBMITTAL ON REVERSE

Description of Center Line Equestrian Center's Operation

Type of business: Horse boarding and riding lessons

Center Line Equestrian Center will provide an affordable boarding option for our community's horse owners. It is home to approximately 50 horses.

Daily operation of the facility includes taking care of the horses (manure removal, feeding, exercising, and grooming).

Additionally, Center Line Equestrian Center, will provide riding lessons to members of the community.

Center Line Equestrian Center, LLC

Business Operation

1. Description: Center Line Equestrian Center LLC is a full horse boarding facility. We cap our maximum capacity at 50 horses. Besides boarding horses for members of our community, horseback riding lessons are also provided to individuals, to owners of horses boarded here as well as to individuals from the community, who do not own their own horse. This is a very desirable activity to many.

Business Hours: 8:00 am – 9:00 pm (Monday – Sunday)

2. Daily Operation

7:00 am – 8:00 am: Feeding of the animals

9:00 am – 1:00 pm: Cleaning of stalls and pastures, miscellaneous other chores (i.e., cleaning of water troughs, spreading of manure, general clean-up of facility, grooming of arenas).

8:00 am – 9:00 pm: We currently have 28 different horse owners. On average, six owners visit their horse/s daily (sometime during business hours, mainly during the morning and afternoon), some visit their horse/s once or twice a week, some rarely visit their horse/s. During these visits, owners groom their horse/s, turn them out to provide them with exercise, or ride them.

5:00 pm – 6:00 pm: Feeding of the animals

Riding lessons take place during the day. There are days where no riding lessons are being conducted. This entirely depends on weather conditions, scheduling, and demand. Group and private lessons are available. Group lessons do not surpass six riders and horses. On average, 12 lessons per day are given. Generally, the earliest a riding lesson is given is 9:00 am, and all lessons are completed before dark in fall and winter and before 7:00 pm in the spring and summer.

3. Manure management: We spread our manure in designated areas that are regularly rotated. We do not keep a manure pile, which keeps the fly population to a minimum. In the summer, we utilize fly predators to control the fly population.

4. Customer Parking: Horse owners and visitors park alongside our fence. There is an abundance of space and our neighbors are not impacted by this in any way.

4. Deliveries: Two to three times a year, we receive hay deliveries.

5. Portable toilet: We keep a portable toilet for people visiting our facility. This gets serviced bi-weekly.

6. We do not use heavy machinery. Our property is at the end of Cumming Rd. and is bordered by farm fields. The farmers working the fields utilize heavy machinery for harvesting crop. We use a tractor to spread manure and groom our arenas. This does not produce excessive noise. Our immediate neighbors all own and use tractors as well.

7. We do not have employees. Our facility is family operated.

General Plan: Agricultural Lands



Legend



General Plan

- SV (Single Family Residential - Ver
- SL (Single Family Residential - Low
- SM (Single Family Residential - Me
- SH (Single Family Residential - Hig
- ML (Multiple Family Residential - Lc
- MM (Multiple Family Residential - M
- MH (Multiple Family Residential - H
- MV (Multiple Family Residential - V
- MS (Multiple Family Residential - V
- CC (Congregate Care/Senior Housi
- MO (Mobile Home)
- M-1 (Parker Avenue Mixed Use)
- M-2 (Downtown/Waterfront Rodeo I
- M-3 (Pleasant Hill BART Mixed Use
- M-4 (Willow Pass Road Mixed Use)
- M-5 (Willow Pass Road Commerce
- M-6 (Bay Point Residential Mixed L
- M-7 (Pittsburg/Bay Point BART Sta
- M-8 (Dougherty Valley Village Cent
- M-9 (Montalvin Manor Mixed Use)
- M-10 (Willow Pass Business Park A
- M-11 (Applan Way Mixed Use)
- M-12 (Triangle Area Mixed Use)
- M-13 (San Pablo Dam Road Mixed

Notes



1: 9,028



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

0.3 Miles

0.14

0

WGS_1984_Web_Mercator_Auxiliary_Sphere

Zoning: General Agricultural (A-2)



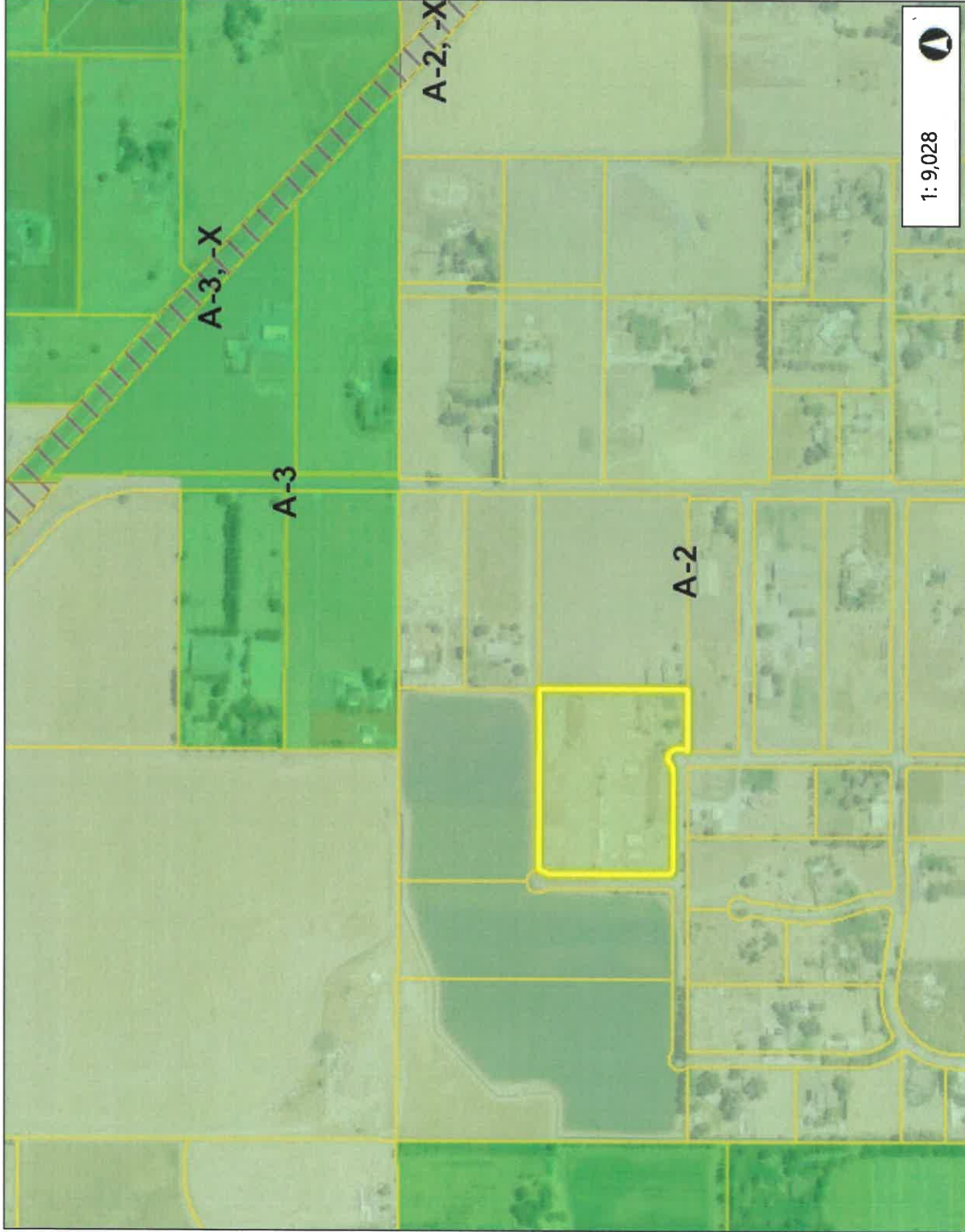
Legend



Zoning

- R-6 (Single Family Residential)
- R-6, -FH -UE (Flood Hazard and A)
- R-6 -SD-1 (Slope Density Hillside t
- R-6 -TOV -K (Tree Obstruction ant
- R-6, -UE (Urban Farm Animal Excl
- R-6 -X (Railroad Corridor Combinir
- R-7 (Single Family Residential)
- R-7 -X (Railroad Corridor Combinin
- R-10 (Single Family Residential)
- R-10, -UE (Urban Farm Animal Exc
- R-12 (Single Family Residential)
- R-15 (Single Family Residential)
- R-20 (Single Family Residential)
- R-20, -UE (Urban Farm Animal Exc
- R-40 (Single Family Residential)
- R-40, -FH -UE (Flood Hazard and f
- R-40, -UE (Urban Farm Animal Exc
- R-65 (Single Family Residential)
- R-100 (Single Family Residential)
- D-1 (Two Family Residential)
- D-1 -T (Transitional Combining Dist
- D-1, -UE (Urban Farm Animal Exclt
- M-12 (Multiple Family Residential)
- M-12 -FH (Flood Hazard Combinint

Notes



1: 9,028

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0.3 Miles

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WGS_1984_Web_Mercator_Auxiliary_Sphere

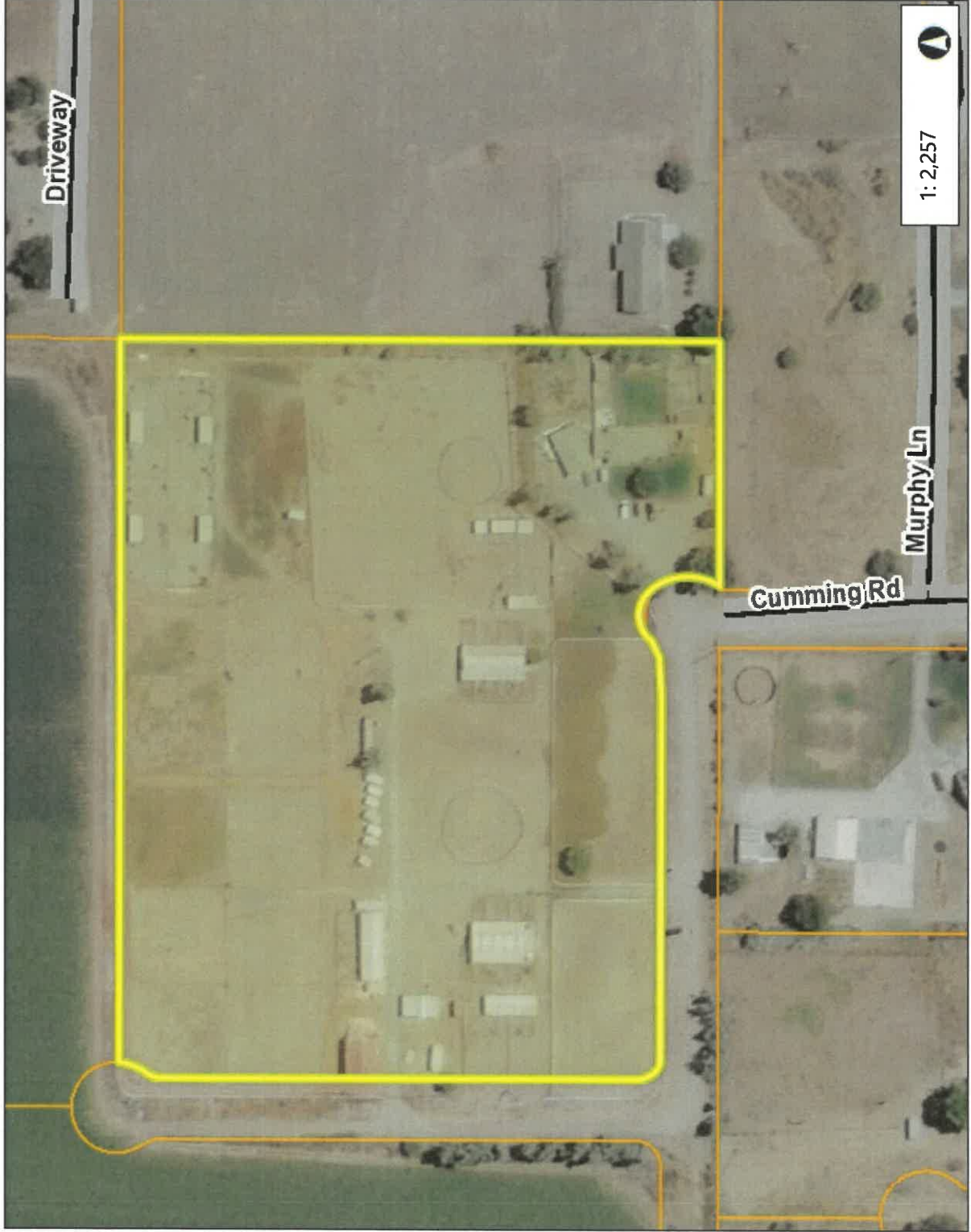
Aerial Photo



Legend

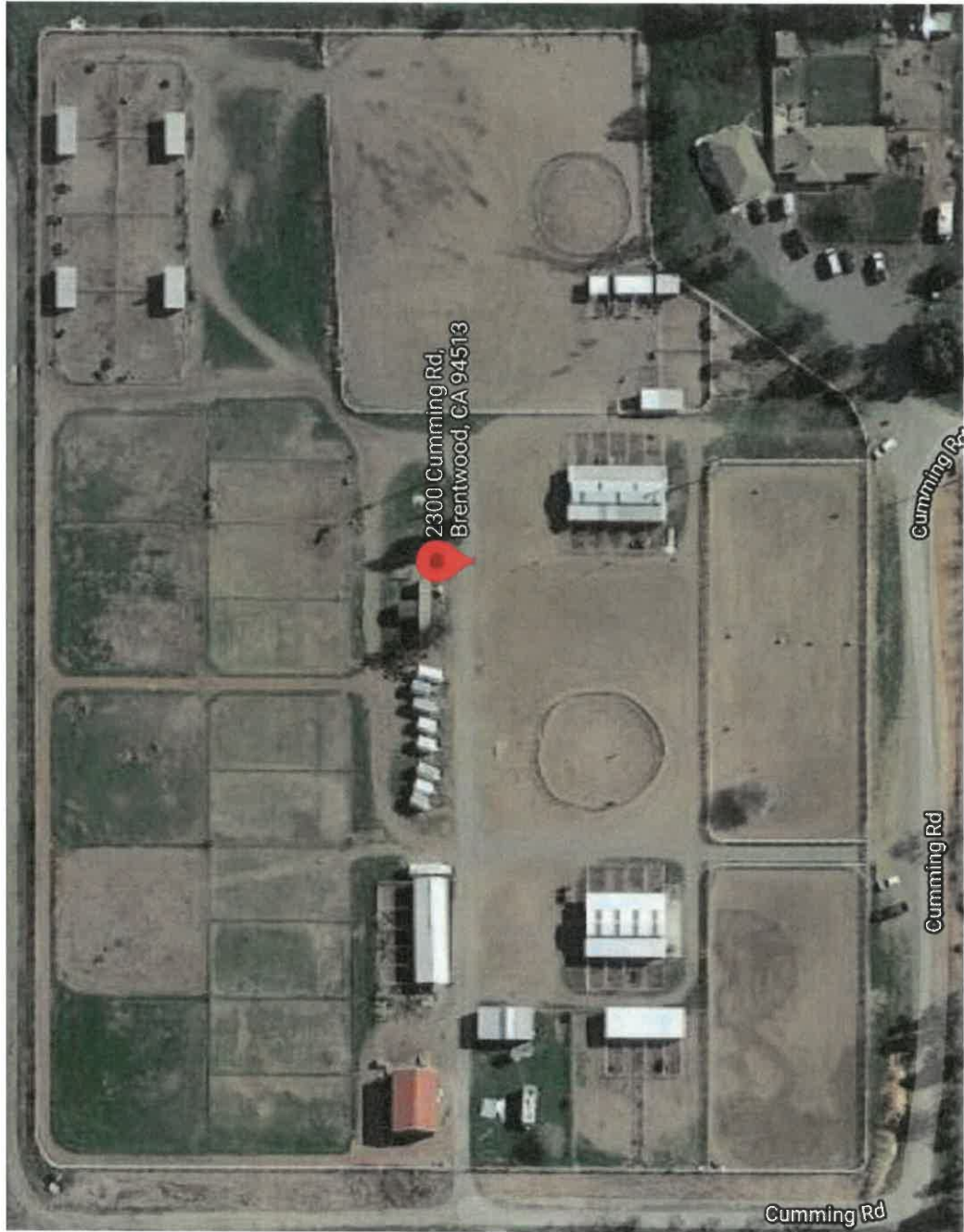
- City Limits
- Streets
- Assessment Parcels
- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations

Notes



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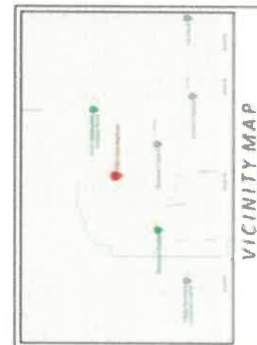
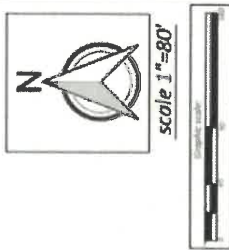


SITE PLAN
2300 Cumming Rd
 Brentwood, Ca, 94513
 Parcel ID: 020-210-023-6
 Lot area: 10.71 Acres
 Plot Size: 11"x17"

Brentwood, Ca, 94513

Lot area: 10.71 Acres

Plot Size: 11"x17"



GET A SITE PLAN www.getsiteplan.com

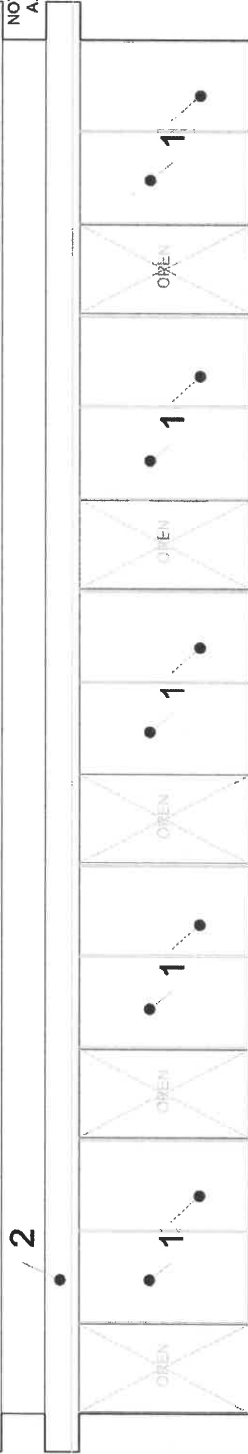
VICINITY MAP

KEYNOTES:

1. PLYWOOD FINISH
2. METAL ROOF PANELING
3. WOOD SIDING
4. 2X12 JOIST
5. ALUMINUM METAL SIDING

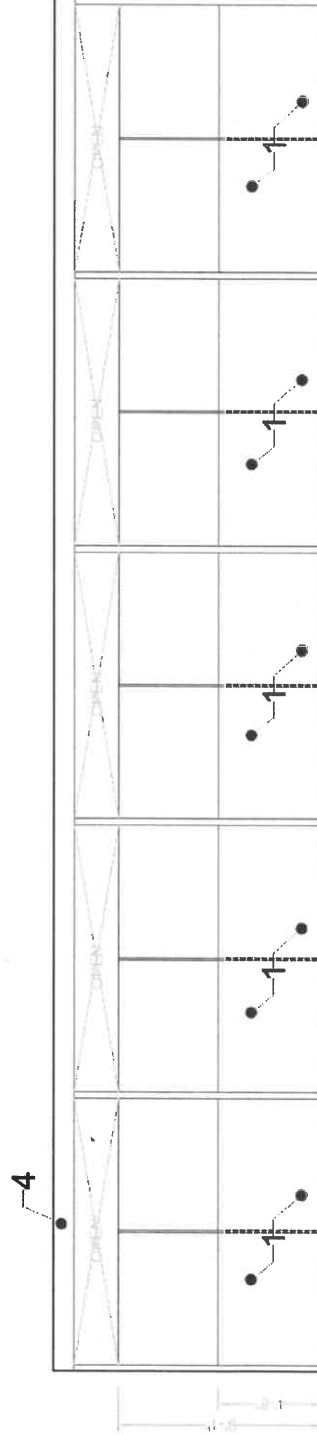
NOTES:

- A. PADDOCKS BEHIND STALLS ARE 24'-3" LONG AND 18'-2" WIDE. SEE SITE PLAN FOR LOCATION



BUILDING A - RIGHT ELEVATION 2

SCALE: 3/16" = 1'-0"



BUILDING A - BUILDING SECTION 1

SCALE: 3/16" = 1'-0"

| Revisions | BY |
|-------------------------------------|----|
| 0 XXXXX/20XX REVISION 0 DESCRIPTION | IN |
| 1 | IN |
| 2 | IN |
| 3 | IN |

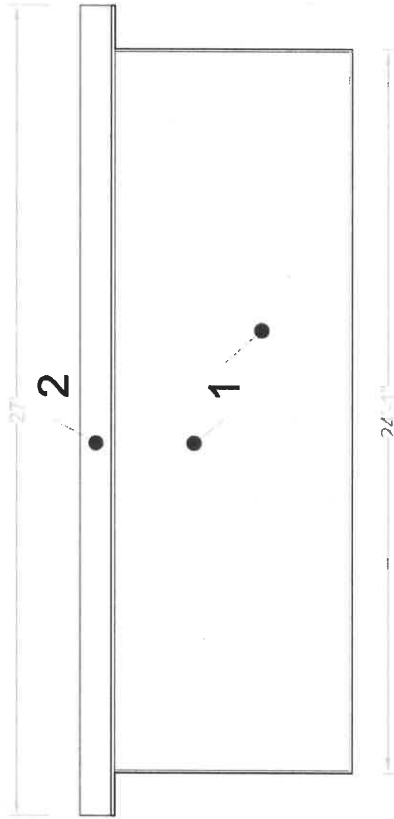
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| 1 | XXXXXX/20XX REVISION 0 DESCRIPTION |
| 2 | XXXXXX/20XX REVISION 0 DESCRIPTION |
| 3 | XXXXXX/20XX REVISION 0 DESCRIPTION |

| BUILDING ELEVATIONS |
|---------------------|
| Manuel Ranch |
| 2300 Cumming Rd |
| Brentwood, CA 94513 |

| A-002 |
|---------------------|
| Scale 3/16" = 1'-0" |

KEYNOTES:

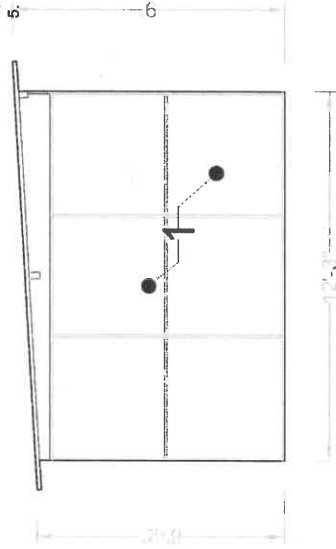
1. PLYWOOD FINISH
2. METAL ROOF PANELING
3. WOOD SIDING
4. 2X12 JOIST
5. ALUMINUM METAL SIDING



BUILDING B - REAR ELEVATION

4

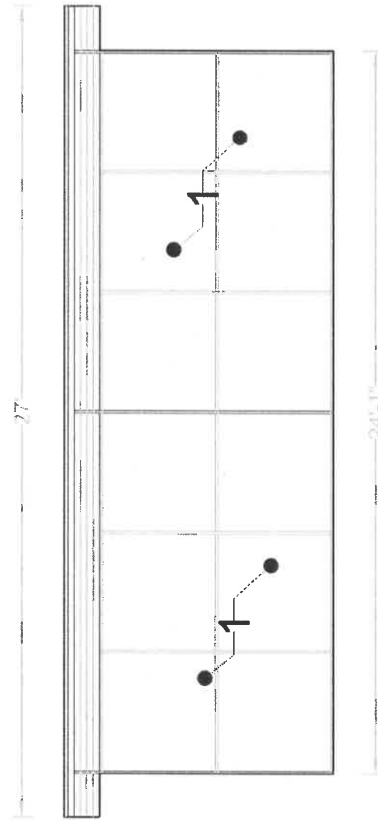
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BUILDING B - LEFT ELEVATION

2

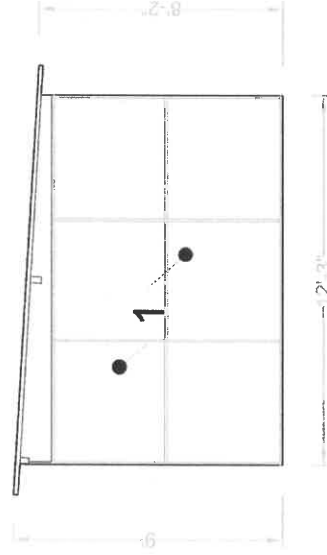
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BUILDING B - FRONT ELEVATION

3

SCALE: 1/4" = 1'-0"



BUILDING B - RIGHT ELEVATION

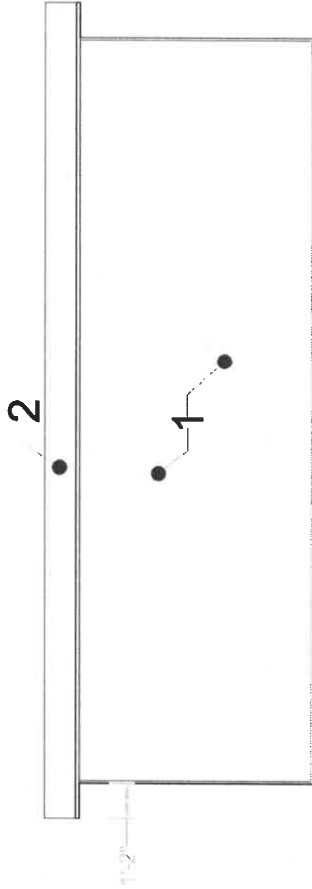
1

SCALE: 1/4" = 1'-0"

| | | | | |
|---|----------------------------------|--|--|----------------------------|
| <p>B-001</p> <p>Scale: 1/4" = 1'-0"</p> | <p>FLOOR PLAN</p> <p>SECTION</p> | <p>DR JAW</p> <p>DRAFTER EMAIL</p> <p>2300 Cumming Rd</p> <p>Brantwood, CA 94513</p> <p>Manuel Ranch</p> | <p>DRAWN BY</p> <p>0 XX/XX/20XX REVISION 0 DESCRIPTION</p> <p>1 IN</p> <p>2 IN</p> <p>3 IN</p> <p>4 IN</p> | <p>Revisions</p> <p>BY</p> |
|---|----------------------------------|--|--|----------------------------|

KEYNOTES:

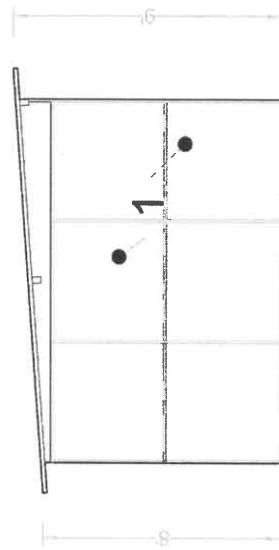
1. PLYWOOD FINISH
2. METAL ROOF PANELING
3. WOOD SIDING
4. 2X12 JOIST
5. ALUMINUM METAL SIDING



BUILDING D - REAR ELEVATION

4

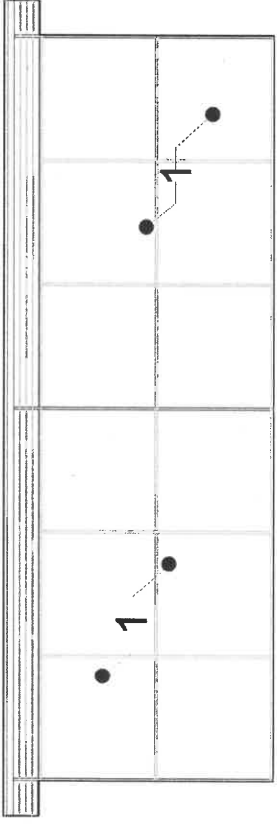
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BUILDING D - LEFT ELEVATION

2

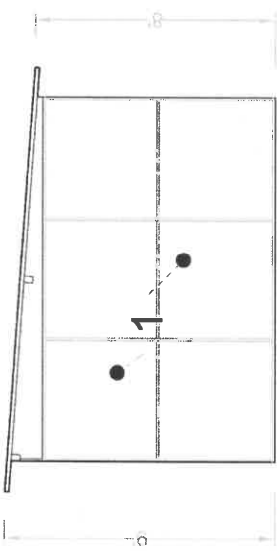
SCALE: 1/4" = 1'-0"



BUILDING D - FRONT ELEVATION

3

SCALE: 1/4" = 1'-0"



BUILDING D - RIGHT ELEVATION

1

SCALE: 1/4" = 1'-0"

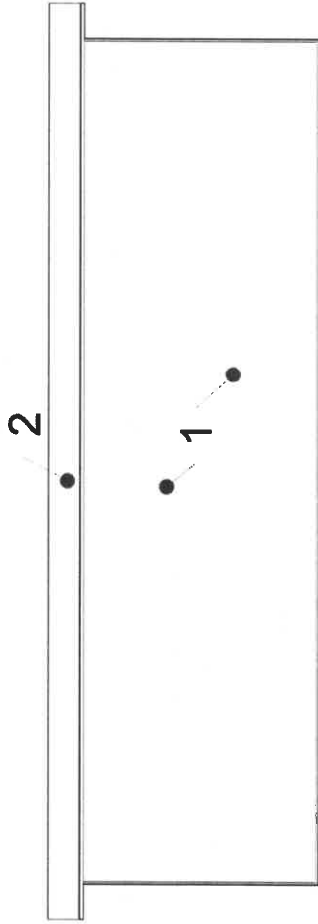
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|--|--|-----------------|---------------|
| FLOOR PLAN SECTION Manuel Ranch 2300 Cumming Rd Brentwood, CA 94513 | | DR JAW | DRAFTER EMAIL |
| 0 XX/XX/20XX REVISION 0 DESCRIPTION IN IN IN IN IN IN | | Revisions BY | DRAFTER # |

D-001

Scale: 1/4" = 1'-0"

KEYNOTES:

1. PLYWOOD FINISH
2. METAL ROOF PANELING
3. WOOD SIDING
4. 2X12 JOIST
5. ALUMINUM METAL SIDING

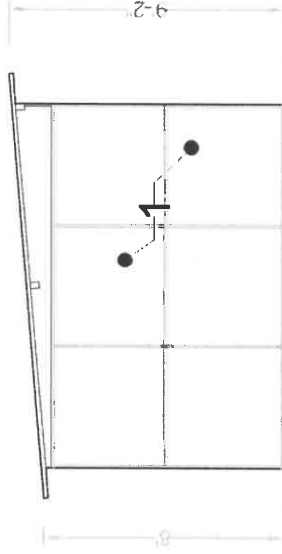


28'-2"

BUILDING D2 - REAR ELEVATION

4

SCALE: 1/4" = 1'-0"

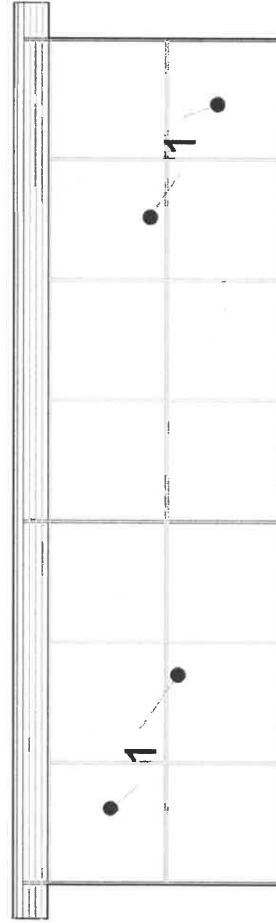


12'-1"

BUILDING D2 - LEFT ELEVATION

2

SCALE: 1/4" = 1'-0"



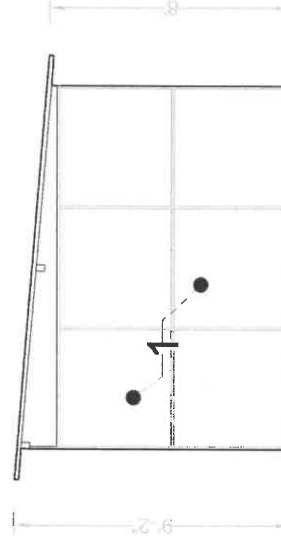
12'

28'-2"

BUILDING D2 - FRONT ELEVATION

3

SCALE: 1/4" = 1'-0"



12'-1"

BUILDING D2 - RIGHT ELEVATION

1

SCALE: 1/4" = 1'-0"

| Revisions | BY |
|-------------------------------------|----|
| 0 XX/XX/20XX REVISION 0 DESCRIPTION | IN |
| 1 | IN |
| 2 | IN |
| 3 | IN |

| DRAFTER # |
|-----------|
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DRAFTER EMAIL

DR JAW

2300 Cumming Rd
Brentwood, CA 94513

Manuel Ranch

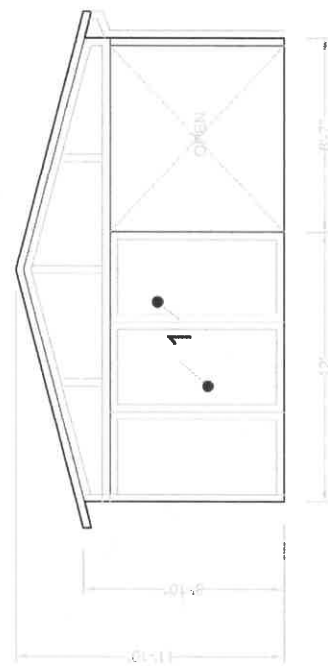
FLOOR PLAN
BUILDING
SECTION

D-002

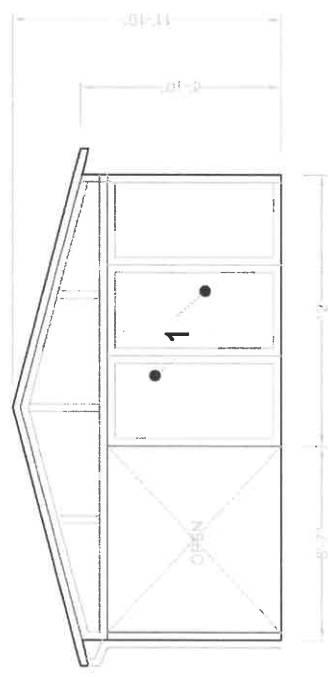
Scale: 1/4" = 1'-0"

KEYNOTES:

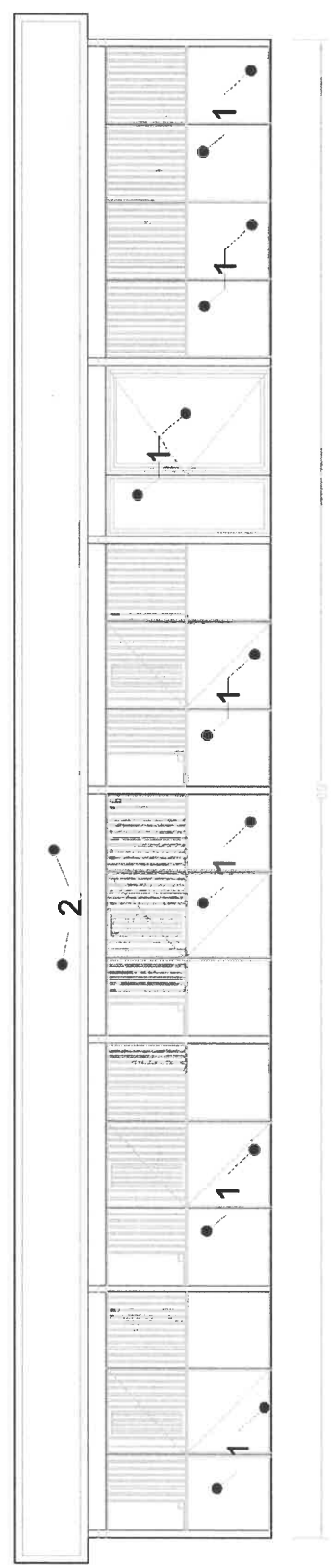
- 1. PLYWOOD FINISH
- 2. METAL ROOF PANELING
- 3. WOOD SIDING
- 4. 2X12 JOIST
- 5. ALUMINUM METAL SIDING



BUILDING E - LEFT ELEVATION 3
SCALE: 1/4" = 1'-0"



BUILDING E - RIGHT ELEVATION 2
SCALE: 1/4" = 1'-0"



BUILDING E - FRONT ELEVATION 1
SCALE: 1/4" = 1'-0"

| | | | | | | | |
|-----------------------------------|--|--|--|---------------|-----------|-------------------------------------|----|
| FLOOR PLAN BUILDING SECTION | | Manuel Ranch 2300 Cumming Rd Brentwood, CA 94513 | | DRAFTER EMAIL | DRAFTER # | Revisions | BY |
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| | | | | | | 2 | IN |
| | | | | | | 3 | IN |

E-001

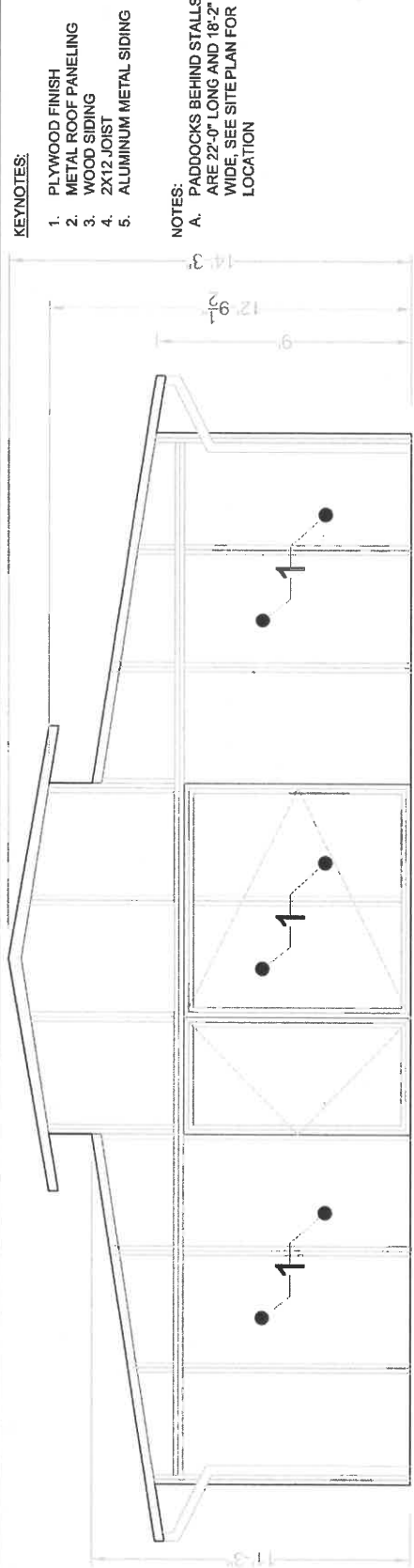
Scale: 1/4" = 1'-0"

| | | | | | | | |
|------------------|--|--------------|-----|---------------------------------------|-----------|-------------------------------------|----|
| FLOOR PLAN | | DR | JAW | DRAFTER EMAIL | DRAFTER # | Revisions | BY |
| BUILDING SECTION | | Manuel Ranch | | 2300 Cumming Rd Branwood, CA 94513 | | 0 XXXXX20XXK REVISION 0 DESCRIPTION | IN |
| | | | | | | 1 | IN |
| | | | | | | 2 | IN |
| | | | | | | 3 | IN |

1

BUILDING F - RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



KEYNOTES:

1. PLYWOOD FINISH
2. METAL ROOF PANELING
3. WOOD SIDING
4. 2X12 JOIST
5. ALUMINUM METAL SIDING

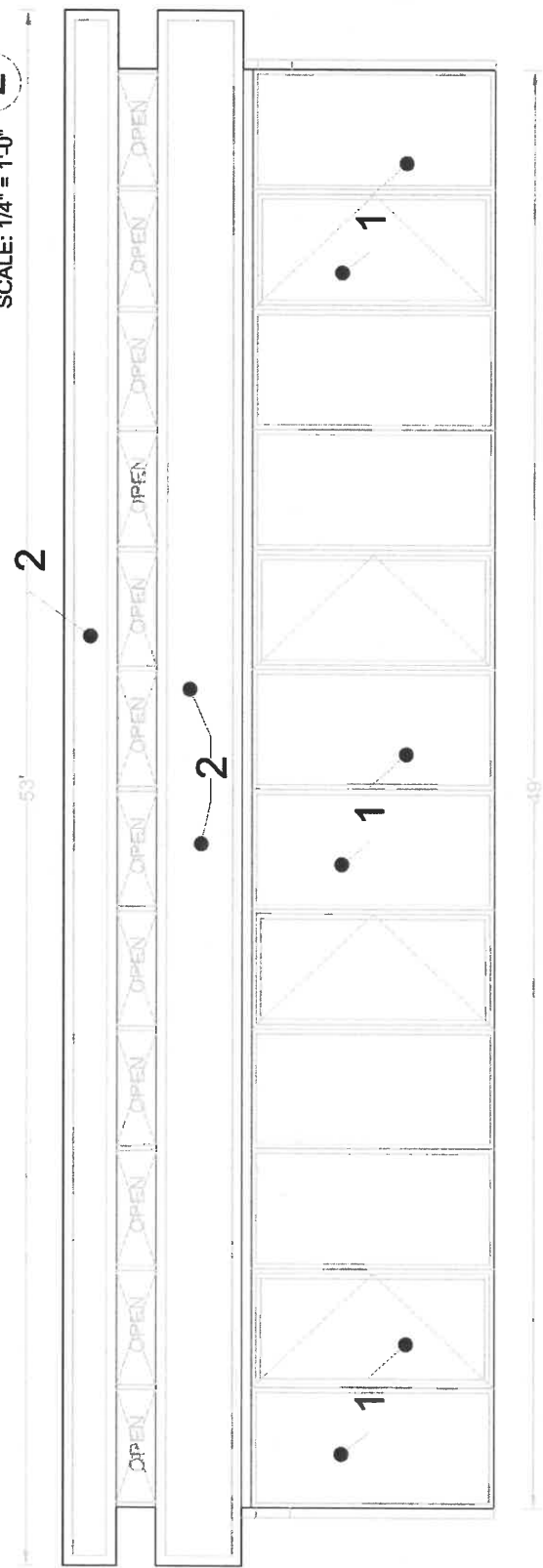
NOTES:

- A. PADDOCKS BEHIND STALLS ARE 22'-0" LONG AND 18'-2" WIDE, SEE SITE PLAN FOR LOCATION

2

BUILDING F - FRONT ELEVATION

SCALE: 1/4" = 1'-0"

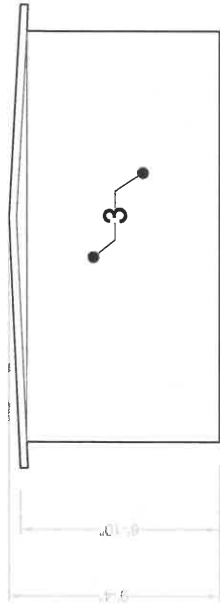


KEYNOTES:

1. PLYWOOD FINISH
2. METAL ROOF PANELING
3. WOOD SIDING
4. 2X12 JOIST
5. ALUMINUM METAL SIDING

NOTES:

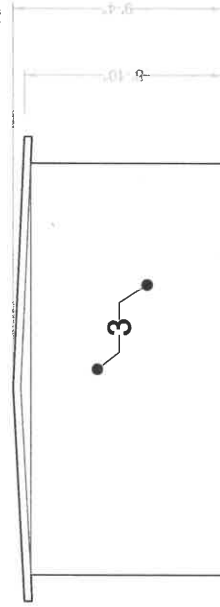
- A. PADDOCKS BEHIND
STALLS ARE 24'-2" LONG,
SEE SITE PLAN FOR
LOCATION



BUILDING G - LEFT ELEVATION

3

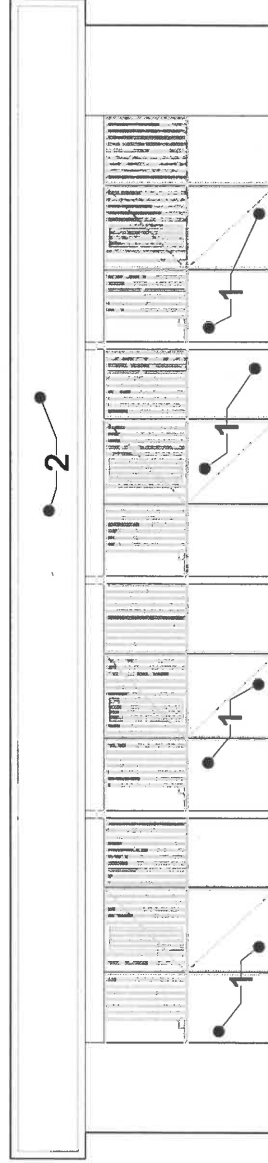
SCALE: 1/4" = 1'-0"



BUILDING G - RIGHT ELEVATION

2

SCALE: 1/4" = 1'-0"



BUILDING G - FRONT ELEVATION

1

SCALE: 1/4" = 1'-0"

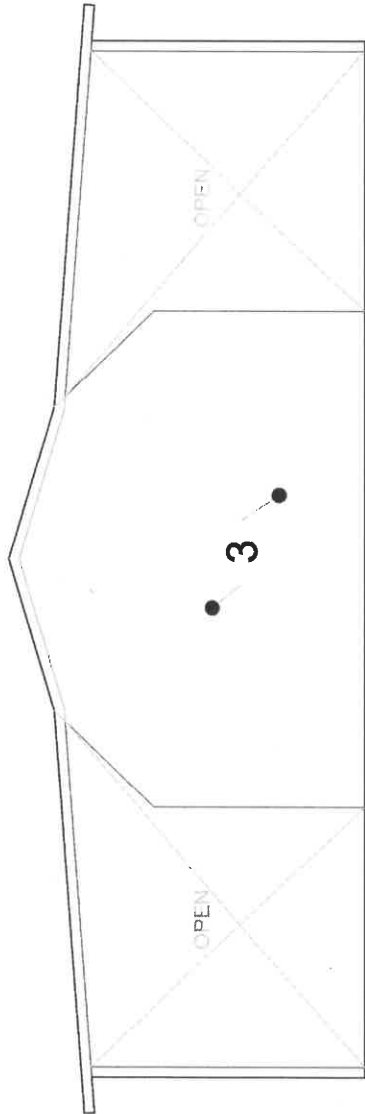
| | | | | | | | |
|--|--|----|-----|---------------|-----------|------------------------|----|
| FLOOR PLAN BUILDING SECTION | | DR | JAW | DRAFTER EMAIL | DRAFTER # | Revisions | BY |
| Manuel Ranch | | | | | | 0 XX/XX/20XX | IN |
| 2300 Cumming Rd Brentwood, CA 94513 | | | | | | 1 | IN |
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| | | | | | | Revisions | BY |
| | | | | | | REVISION 0 DESCRIPTION | IN |

G-001

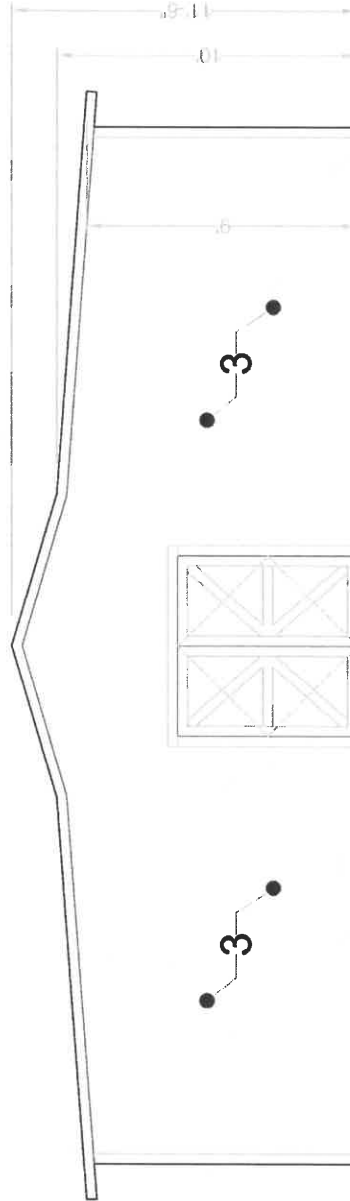
Scale: 1/4" = 1'-0"

KEYNOTES:

- 1. PLYWOOD FINISH
- 2. METAL ROOF PANELING
- 3. WOOD SIDING
- 4. 2X12 JOIST
- 5. ALUMINUM METAL SIDING



BUILDING H - REAR ELEVATION 2
SCALE: 1/4" = 1'-0"



BUILDING H - FRONT ELEVATION 1
SCALE: 1/4" = 1'-0"

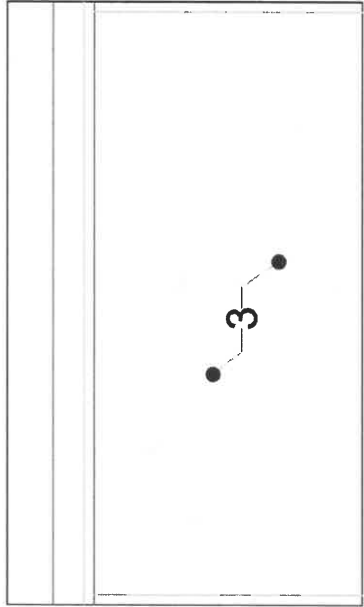
| | | | | | | |
|-----------------------------------|--|--|---------------|-----------|-----------------------------------|----|
| FLOOR PLAN BUILDING SECTION | | DR JAW | DRAFTER EMAIL | DRAFTER # | Revisions | BY |
| Manuel Ranch | | 2300 Cumming Rd Brentwood, CA 94513 | | 0 | XX/XX/20XX REVISION 0 DESCRIPTION | IN |
| | | | | 1 | | IN |
| | | | | 2 | | IN |
| | | | | 3 | | IN |

H-001

Scale: 1/4" = 1'-0"

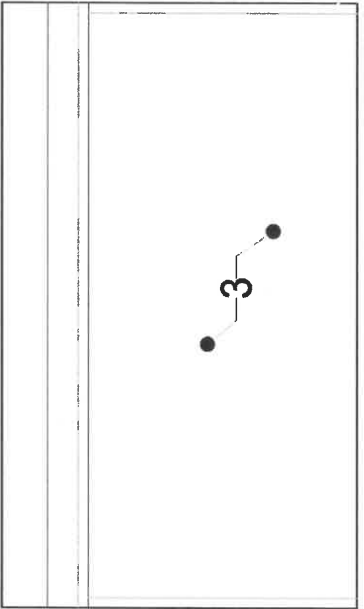
KEYNOTES:

- 1. PLYWOOD FINISH
- 2. METAL ROOF PANELING
- 3. WOOD SIDING
- 4. 2X12 JOIST
- 5. ALUMINUM METAL SIDING



BUILDING H - LEFT ELEVATION 2

SCALE: 1/4" = 1'-0"

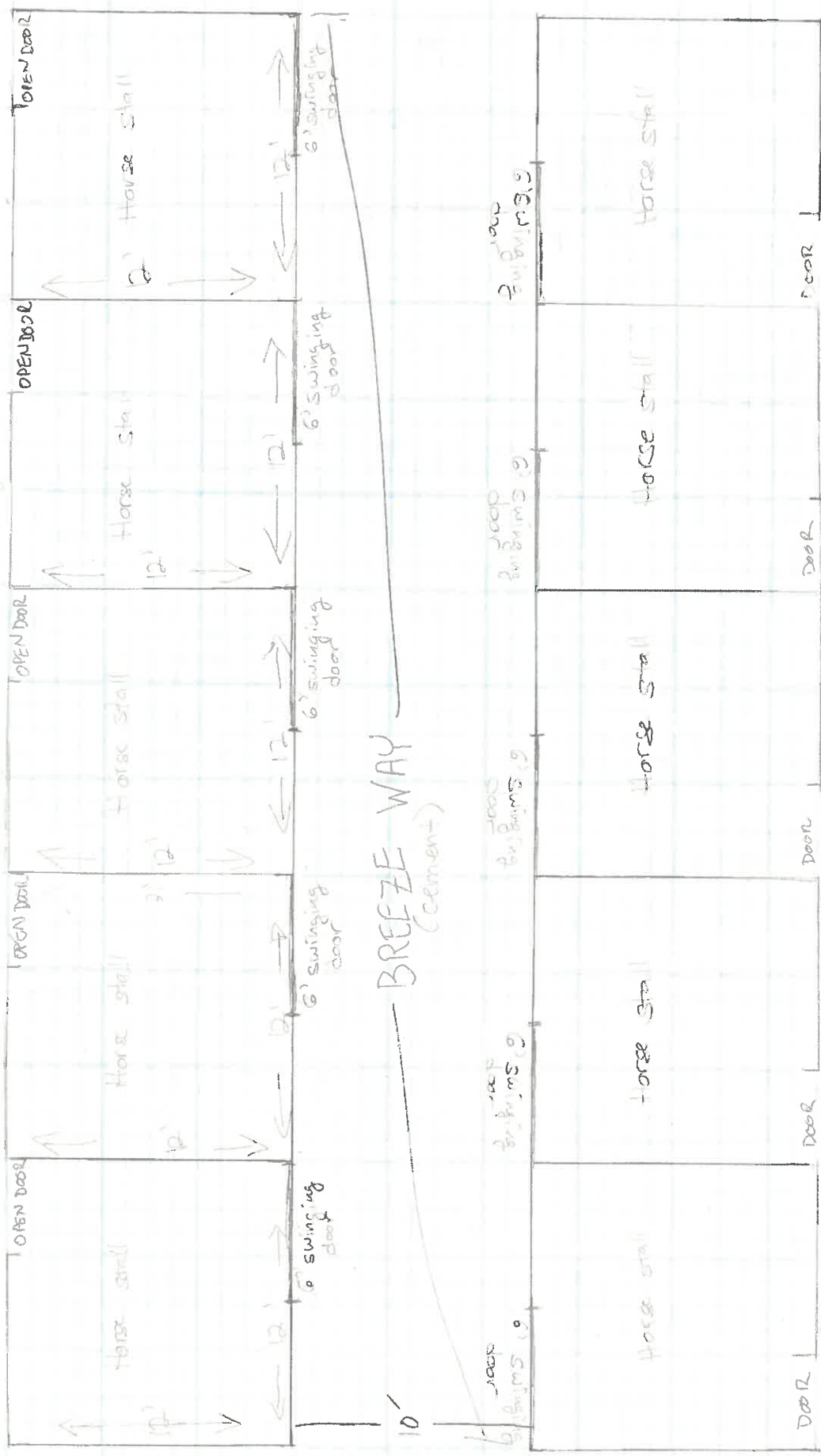


BUILDING H - RIGHT ELEVATION 1

SCALE: 1/4" = 1'-0"

| | | | | | |
|-----------------------------------|--|--|---------------|-----------|-----------------------------------|
| FLOOR PLAN BUILDING SECTION | | DR JAW | DRAFTER EMAIL | Revisions | BY |
| Manuel Ranch | | 2300 Cumming Rd Brentwood, CA 94513 | | 0 | XX/XX/20XX REVISION 0 DESCRIPTION |
| | | | | 1 | IN |
| | | | | 2 | IN |
| | | | | 3 | IN |

BUILDING A FLOOR PLAN C 10 - Stall Horse Barn

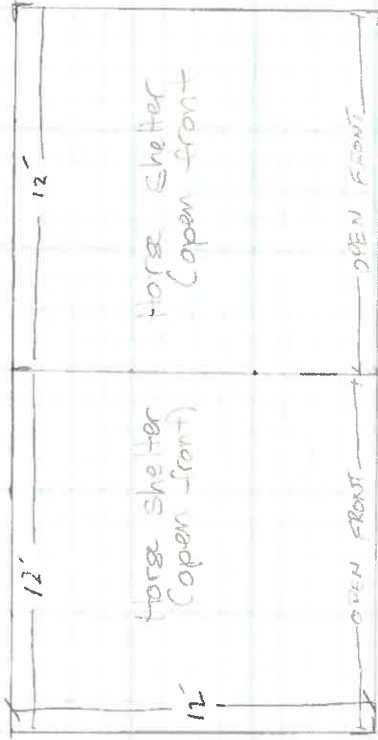


* All stalls have sand floors with rubber mat on top.

$$\frac{1}{4} = 1$$

BUILDING B FLOOR PLAN

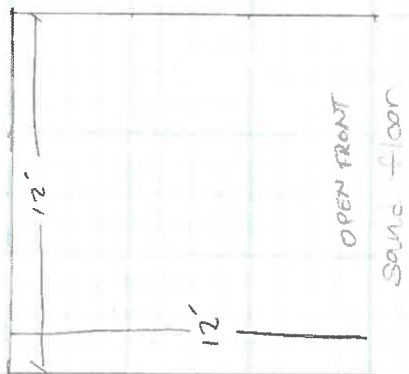
(horse shelters)



[both shelters have sand floors]
with rubber mats on top

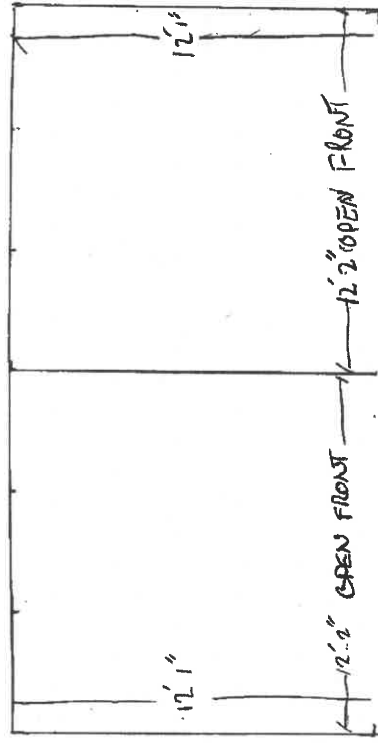
$$\frac{1}{4} = 1'$$

BUILDING C FLOOR PLAN
(force shelter)



$\frac{1}{4} = 1'$

BUILDING D FLOOR PLAN (Horse Shelter)

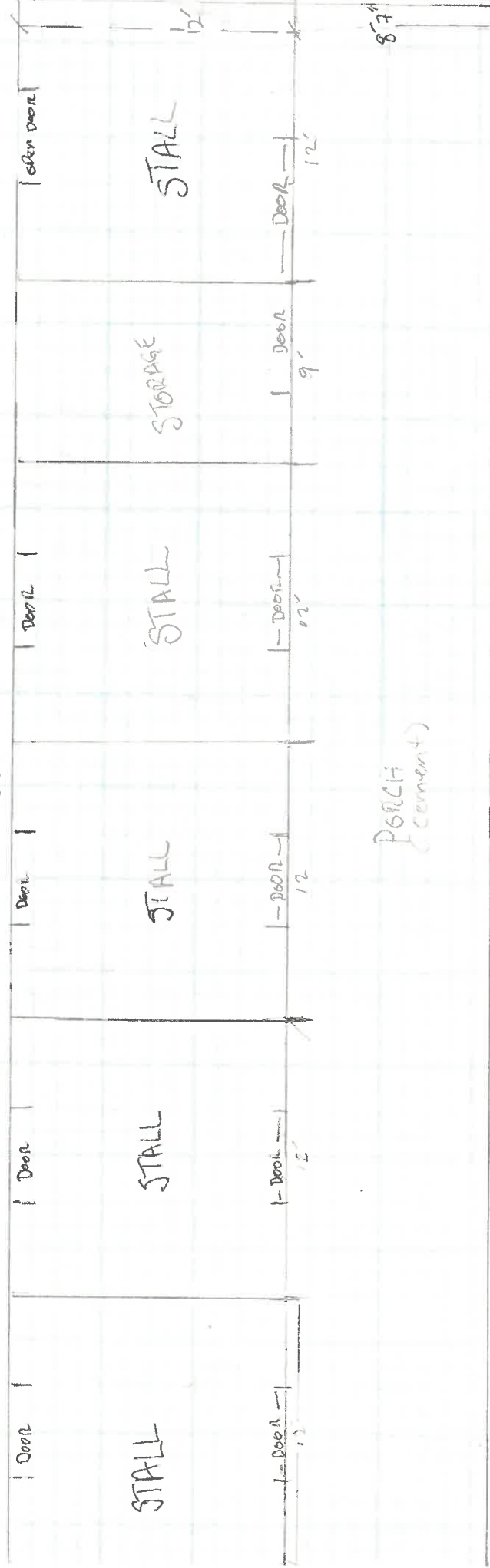


All stalls have sand floors

$\frac{1}{4} = 1'$

BUILDING E. FLOOR PLAN (Horse Barn - Shedrow)

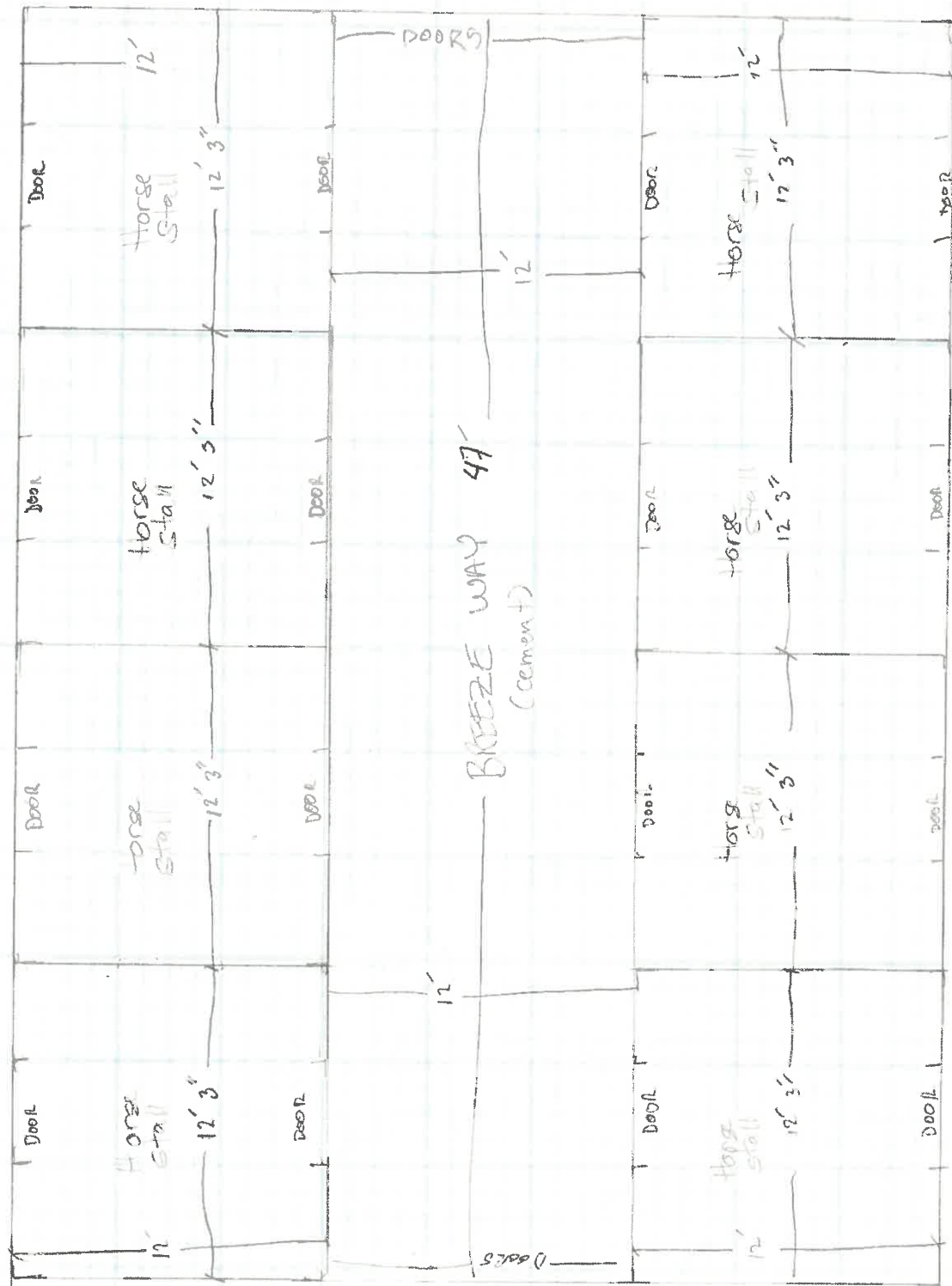
69'



*All stores have sand floors with rubber mats on top

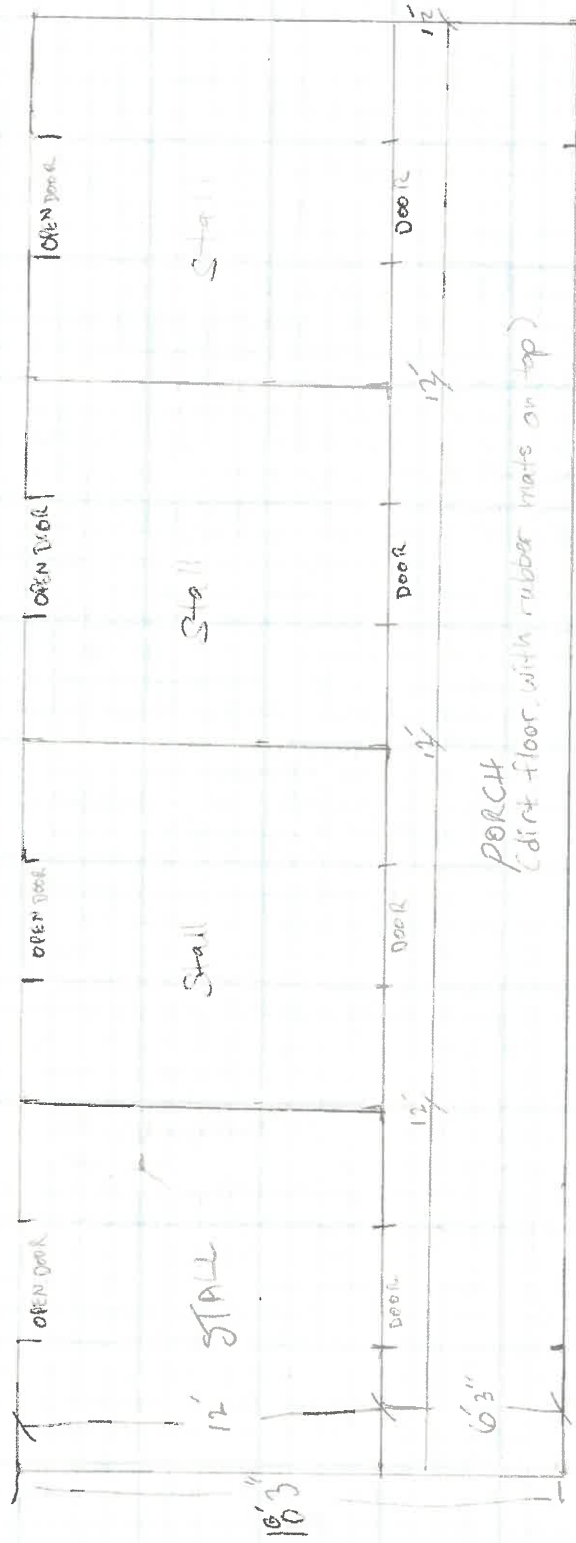
$\frac{1}{4} = 1'$

BUILDING F FLOOR PLAN (Horse Barn - 8 stalls)



* All stalls have 3rd floors with rubber mats on top. $\frac{1}{4} = 1'$

BUILDING FLOOR PLAN (Horse Barn)

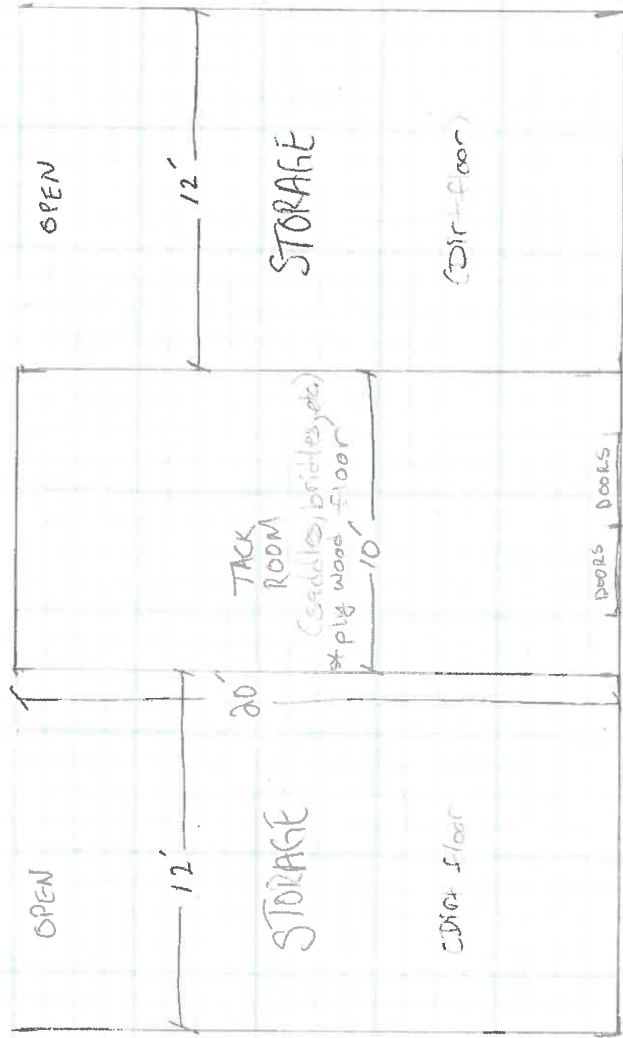


* All stalls have sand floors with rubber mats on top -

$\frac{1}{4} = 1'$

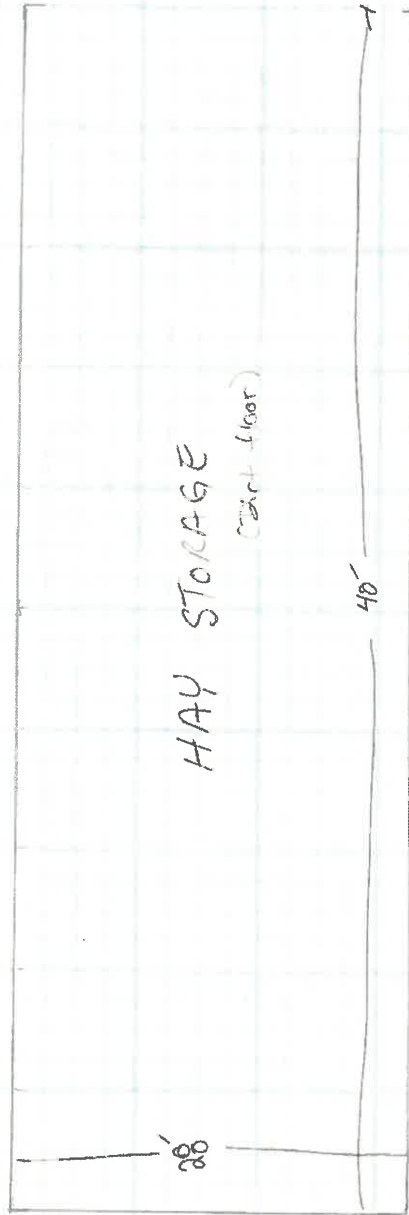
BUILDING H FLOOR PLAN

Storage Building / Tack Room



$\frac{1}{4} = 1'$

BUILDING 1 FLOOR PLAN



$\frac{1}{4} = 2'$



2021 Community Clean Up Days

Available Dates:

Saturday, August 14, 2021

Saturday, August 28, 2021

Saturday, September 11, 2021

Saturday, October 2, 2021 – Bethel Island

Saturday, October 9, 2021

Saturday, October 30, 2021 - Byron

CONTRA COSTA COUNTY ZONING ADMINISTRATOR

WEDNESDAY, FEBRUARY 17, 2021

30 MUIR ROAD
MARTINEZ, CA 94553

RECEIVED

FEB 11 2021

1:30 P.M.

BY: _____

To slow the spread of COVID-19, the Health Officer's Shelter Order of December 16, 2020, prevents public gatherings. In lieu of a public gathering, the County Zoning Administrator will be accessible live online or by telephone to all members of the public as permitted by the Governor's Executive Order N29-20.

Zoning Administrator meetings can be accessed live either online or by telephone.

ACCESS THE MEETING LIVE ONLINE AT <https://cccourtty-us.zoom.us/j/84851624144>

Meeting ID: 848 5162 4144

ACCESS THE MEETING BY TELEPHONE AT (888) 278-0254 FOLLOWED BY ACCESS CODE 198675##.

When accessing the meeting online by computer, you will be asked to either install a plug-in or to join by web browser. When accessing the meeting online by mobile device, you will be prompted to install an application.
PERSONS WHO WISH TO ADDRESS THE ZONING ADMINISTRATOR DURING PUBLIC COMMENT OR WITH RESPECT TO AN ITEM THAT IS ON THE AGENDA MAY DO SO EITHER ONLINE OR BY TELEPHONE. IF ACCESSING THE MEETING ONLINE, REQUEST TO SPEAK BY CLICKING THE "RAISE HAND" FUNCTION. IF ACCESSING THE MEETING BY TELEPHONE, REQUEST TO SPEAK BY DIALING #2.

PUBLIC COMMENTS MAY ALSO BE SUBMITTED BEFORE THE MEETING BY EMAIL AT planninghearing@dcd.cccounty.us OR BY VOICEMAIL AT (925) 674-7792.

All commenters will be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting. The Zoning Administrator may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. Your patience is appreciated.

If you wish to view the meeting only, but not participate, the meeting can be viewed at

http://contra-costa.granicus.com/ViewPublisher.php?view_id=13.

NOTICE: The Zoning Administrator may alter the order of agenda items at the meeting.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 674-7792.

1. PUBLIC COMMENTS:
2. MINOR SUBDIVISION: PUBLIC HEARING
- 2a. SCOTT GREENWOOD-MEINERT (Applicant) - ST. MORITZ DORF, LLC, C/O PIERRE WILDMAN (Owner), County File #CDMS20-00003: The applicant is requesting approval of a vesting tentative map for a one-lot minor subdivision application that would subdivide the subject 101.52-acre parcel into a 22.91-acre residential parcel (Parcel A) and a 78.61-acre designated remainder parcel. No development is proposed at this time. The applicant is also requesting an exception from the collect and convey requirements specified in Chapter 914-2 of the County's Subdivision Ordinance. In addition, the applicant will be required to annex into the Community Facilities District (CFD) 2010-1 formed for the Countywide Street Light Financing. The subject property is located at 10 Serenity Lane in the Alamo area of unincorporated Contra Costa County. (Zoning: Planned Unit District, P-1)(Assessor's Parcel Number: 194-070-078) SJ Staff Report

3. LAND USE PERMIT: PUBLIC HEARING

- 3a. JAMES LEE (Applicant and Owner) - MARK HOWE (Owner), County File #CDLP20-02015. The applicant requests approval of a land use permit and development plan modification to allow the establishment of a commercial cannabis cultivation facility within an existing building, and to modify the approved Final Development Plan for the North Richmond Planned Unit District (County File #DP94-3014, #RZ94-3015) in order to allow commercial cannabis cultivation activities in commercially- and industrially-designated areas of the zoning district, pursuant to the County's adoption of the Cannabis Regulation ordinance (Chapter 88-28). The project is located at a 14-acre site comprised of two parcels located along the eastern boundary of 7th Street, between Market Avenue and Chesley Avenue in the North Richmond area. (Zoning: Planned Unit, P-1) (Assessor's Parcel Number: 409-131-001 and 409-131-002) ST Staff Report
- 3b. RANDY BODHAINE (Applicant and Owner), County File #CDLP19-02011: A request for approval of a land use permit and development plan to establish a non-accessory electronic sign that will be used to advertise multiple businesses. The sign has a 14-foot high by 48-foot-wide double-faced LED display and will be mounted on top of a pole base with a maximum overall height of 50-feet. The subject property is located at 95 First Avenue North in the Pacheco area. (Zoning: General Commercial (C)) (APN: 125-240-029) MM Staff Report

4. DEVELOPMENT PLAN: PUBLIC HEARING

- 4a. KURT HERELD (Applicant) - PAUL W. & LAURA E. GANTT TRE (Owner), County File #CDDP20-03029: The applicant requests approval of a Development Plan Permit to modify the development standards established under County File #CDDP77-3025 to allow an 8-foot 4-inch setback for the construction of an 881-square-foot residential addition to an existing single-family residence. The project site is located at 121 Alamo Hills Court in Alamo. (Zoning: P-1 Planned Unit District) (Parcel Number: 197-360-004) JL Staff Report

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, MARCH 1, 2021.

~ CANCELLED ~

RECEIVED

FEB 11 2021

BY: _____

COUNTY PLANNING COMMISSION

CONTRA COSTA COUNTY

WEDNESDAY, FEBRUARY 24, 2021

30 MUIR ROAD

MARTINEZ, CALIFORNIA 94553

CHAIR: Rand Swenson
VICE-CHAIR: Kevin Van Buskirk
COMMISSIONERS: Jeffrey Wright, Donna Allen, Bhupen Amin, Bob Mankin, Ross Hillesheim

NOTICE: Commission may change the order of items on the agenda at the beginning of the meeting.

To slow the spread of COVID-19, the Health Officer's Shelter Order of December 16, 2020 prevents public gatherings. In lieu of a public gathering, the County Planning Commission meeting will be accessible via live-streaming to all members of the public as permitted by the Governor's Executive Order N29-20.

Commission meetings can be accessed live either online or by telephone. ACCESS THE MEETING LIVE ONLINE AT
<https://cccouny-us-zoom.us/j/99006842820>

Meeting ID: 990 0684 2820

ACCESS THE MEETING BY TELEPHONE AT (888) 278-0254 FOLLOWED BY ACCESS CODE 198675##.

When accessing the meeting online by computer, you will be asked to either install a plug-in or to join by web browser. When accessing the meeting online by mobile device, you will be prompted to install an application. If you need assistance with your All commenters will be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting audio, please dial 888-796-6118. If you need assistance with your online access, please dial 888-793-6118.

PERSONS WHO WISH TO ADDRESS THE COMMISSION DURING PUBLIC COMMENT OR WITH RESPECT TO AN ITEM THAT IS ON THE AGENDA MAY DO SO EITHER ONLINE OR BY TELEPHONE. IF ACCESSING THE MEETING ONLINE, REQUEST TO SPEAK BY CLICKING THE "RAISE HAND" FUNCTION. IF ACCESSING THE MEETING BY TELEPHONE, REQUEST TO SPEAK BY DIALING #2.

PUBLIC COMMENTS MAY ALSO BE SUBMITTED BEFORE OR DURING THE MEETING BY EMAIL AT planninghearing@dcd.cccounty.us OR BY VOICEMAIL AT (925) 674-7792.

The Commission Chair may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. Your patience is appreciated.

**** 6:30 P.M. ****

1. PUBLIC COMMENTS:
2. STAFF REPORT:
3. COMMISSIONERS' COMMENTS:
4. COMMUNICATIONS:

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE ON WEDNESDAY, MARCH 10, 2021.

CONTRA COSTA COUNTY ZONING ADMINISTRATOR

MONDAY, MARCH 1, 2021

30 MUIR ROAD

MARTINEZ, CA 94553

RECEIVED

FEB 22 2021

1:30 P.M.

BY: _____

To slow the spread of COVID-19, the Health Officer's Shelter Order of December 16, 2020, prevents public gatherings. In lieu of a public gathering, the County Zoning Administrator will be accessible live online or by telephone to all members of the public as permitted by the Governor's Executive Order N29-20.

Zoning Administrator meetings can be accessed live either online or by telephone.

ACCESS THE MEETING LIVE ONLINE AT <https://cccouny-us.zoom.us/j/87172881881>

Meeting ID: 87172881881

ACCESS THE MEETING BY TELEPHONE AT (888) 278-0254 FOLLOWED BY ACCESS CODE 198675##.

When accessing the meeting online by computer, you will be asked to either install a plug-in or to join by web browser. When accessing the meeting online by mobile device, you will be prompted to install an application. PERSONS WHO WISH TO ADDRESS THE ZONING ADMINISTRATOR DURING PUBLIC COMMENT OR WITH RESPECT TO AN ITEM THAT IS ON THE AGENDA MAY DO SO EITHER ONLINE OR BY TELEPHONE. IF ACCESSING THE MEETING ONLINE, REQUEST TO SPEAK BY CLICKING THE "RAISE HAND" FUNCTION. IF ACCESSING THE MEETING BY TELEPHONE, REQUEST TO SPEAK BY DIALING #2.

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http://contra-costa.granicus.com/ViewPublisher.php?view_id=13

NOTICE: The Zoning Administrator may alter the order of agenda items at the meeting.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 674-7792.

1. PUBLIC COMMENTS:

2. APPEAL NOTIFICATION OF FINE: CONTINUED PUBLIC HEARING

- 2a. BRIAN STEINBERG (Owner), County File # BIRF18-00954): This is a hearing on the appeal for a Notice of Fine issued in the amount of \$14,300.00, at the property located at 3163 Willow Road, Bethel Island. (APN 029-120-020) (Zoning: F-1) The Notice of Fine was issued as part of a code enforcement case for activity in violation of Title 8 of the Contra Costa County Ordinance (Continued from 02/04/2021 RH) CF Staff Report

3. MINOR SUBDIVISION: PUBLIC HEARING

- 3a. DONALD GIESEKE (Applicant) - PCD ASSET GROUP, LLC (Owner), County File #CDMS19-00003: The applicant requests approval of a tentative map to subdivide a 20,000 square foot parcel (APN 184-302-003) into two 10,000 square-foot residential parcels with associated roadway, utility, and infrastructure improvements. The project also includes a request for approval of a tree permit to allow the removal of up to seven trees and work within the dripline of up to eight code-protected trees, and a request for approval of an exception to county standards regarding the undergrounding of existing utilities. The project is located at 2063 and 2055 Olympic Boulevard in the unincorporated area of Walnut Creek. (Zoning: Single-Family Residential, R-10) (Assessor's Parcel Number: 184-302-003 and 184-302-004) ST Staff Report

4. LAND USE PERMIT: PUBLIC HEARING

- 4a. JOHN MERRITT ON BEHALF OF AMERICAN TOWER (Applicant) - ROBERT FREITAS (Owner), County File #CDLP21-02001: This is an application for a Land Use Permit for the renewal of County File #CDLP06-02045 to allow the continued operation of an existing Verizon Facility consisting of five (5) 15-foot-tall monopines. No modifications to the existing facilities are proposed. The subject property is located at 2350 Norris Canyon Road in the unincorporated San Ramon area. (Zoning: Agricultural Preserve (A-4)) (APN: 211-210-075) EL Staff Report

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, MARCH 15, 2021.

RECEIVED

MAR 03 2021

BY: _____

Knightsen Resident
Knightsen, CA 94548

KTCS D
P.O. Box 763
Knightsen, CA 94548



Dear KTCSD,

I wrote a letter to KTAC and wanted to send a copy to KTCSD also.

I can't find an address for KTAC. Would you mind seeing that they get my letter?

It's very important to me. Thank You!

February 19, 2021

KTAC Board members,

I am writing to share my thoughts about the Feb 16th KTAC meeting.

As a Knightsen resident I found the meeting to be very informative. I learned a lot about our wonderful community.

Hearing KTAC and KTSCD work well together and listen to each other's concerns in a respectful way is so important for the **strength** of our community!!

I know that both the KTAC and KTSCD Board members work very hard behind the scenes to protect the Knightsen Community and I just want you know that it doesn't go unnoticed. I may be speaking for the 'silent majority' but that's how I see it. You do a great job!

The Knightsen community dates back to 1898 and we are a very proud Community!

The Feb 16th KTAC meeting was handled so professionally and orderly accomplishing so much in a short time! You have a great Board and I am looking forward to the next meeting.

Hearing the resident's public comments without being cut off was an added bonus. I for one want to hear what they have to say. Let them speak! You did just that and I learned so much.

1 - I only knew a small portion of how the County dismisses our concerns about these pot farms. I didn't know how bad it really is. We need our voice to be heard on this subject before it gets any worse. Community input is so important.

2 - I had never heard of the "Heritage Tree" down by the School. I saw it today and that gal is right about Eucs **not** being native so how did it get labeled as a Heritage Tree? I have them where I live and they are nothing more than a fast growing dangerous menace and liability!

3 - The "Envision Contra Costa 2040" presentation was great. Without KTAC meetings I would never have heard of that. That's the first time any division representing the County actually seemed to hear us as a Community. That is promising.

In the past I have attended a few Big City meetings (Brentwood) and I was so disappointed to hear all the bickering and complaining to the point that nothing gets accomplished. They could learn a lot from our Knightsen Town meetings and how a Community is supposed to behave.

I see great things ahead if we just stick together. That is the only way that we will be heard.

Thank you so much for all of your hard work and efforts to protect our precious Community!

Cc: KTCSD

~ CANCELLED ~

RECEIVED

FEB 23 2021

BY: _____

**COUNTY PLANNING COMMISSION
CONTRA COSTA COUNTY
WEDNESDAY, MARCH 10, 2021
30 MUIR ROAD
MARTINEZ, CALIFORNIA 94553**

CHAIR: Rand Swenson
VICE-CHAIR: Kevin Van Buskirk
COMMISSIONERS: Jeffrey Wright, Donna Allen, Bhupen Amin, Bob Mankin, Ross Hillesheim

NOTICE: Commission may change the order of items on the agenda at the beginning of the meeting.

To slow the spread of COVID-19, the Health Officer's Shelter Order of December 16, 2020 prevents public gatherings. In lieu of a public gathering, the County Planning Commission meeting will be accessible via live-streaming to all members of the public as permitted by the Governor's Executive Order N29-20.

*Commission meetings can be accessed live either online or by telephone. ACCESS THE MEETING LIVE ONLINE AT
<https://cccounty-us.zoom.us/j/99006842820>*

Meeting ID: 990 0684 2820

ACCESS THE MEETING BY TELEPHONE AT (888) 278-0254 FOLLOWED BY ACCESS CODE 198675##.

When accessing the meeting online by computer, you will be asked to either install a plug-in or to join by web browser. When accessing the meeting online by mobile device, you will be prompted to install an application. If you need assistance with your All commenters will be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting audio, please dial 888-796-6118. If you need assistance with your online access, please dial 888-793-6118.

PERSONS WHO WISH TO ADDRESS THE COMMISSION DURING PUBLIC COMMENT OR WITH RESPECT TO AN ITEM THAT IS ON THE AGENDA MAY DO SO EITHER ONLINE OR BY TELEPHONE. IF ACCESSING THE MEETING ONLINE, REQUEST TO SPEAK BY CLICKING THE "RAISE HAND" FUNCTION. IF ACCESSING THE MEETING BY TELEPHONE, REQUEST TO SPEAK BY DIALING #2.

PUBLIC COMMENTS MAY ALSO BE SUBMITTED BEFORE OR DURING THE MEETING BY EMAIL
AT planninghearing@dcd.cccounty.us OR BY VOICEMAIL AT (925) 674-7792.

. The Commission Chair may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. Your patience is appreciated.

**** 6:30 P.M. ****

1. PUBLIC COMMENTS:
2. STAFF REPORT:
3. COMMISSIONERS' COMMENTS:
4. COMMUNICATIONS:

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE ON WEDNESDAY, MARCH 24, 2021.

CONTRA COSTA COUNTY ZONING ADMINISTRATOR

MONDAY, MARCH 15, 2021

30 MUIR ROAD
MARTINEZ, CA 94553

RECEIVED

MAR 10 2021

BY: _____

1:30 P.M.

To slow the spread of COVID-19, the Health Officer's Shelter Order of December 16, 2020, prevents public gatherings. In lieu of a public gathering, the County Zoning Administrator will be accessible live online or by telephone to all members of the public as permitted by the Governor's Executive Order N29-20.

Zoning Administrator meetings can be accessed live either online or by telephone.

ACCESS THE MEETING LIVE ONLINE AT <https://ccccounty-us.zoom.us/j/89980225967>

Meeting ID: 899 8022 5967

ACCESS THE MEETING BY TELEPHONE AT (888) 278-0254 FOLLOWED BY ACCESS CODE 198675##.

When accessing the meeting online by computer, you will be asked to either install a plug-in or to join by web browser. When accessing the meeting online by mobile device, you will be prompted to install an application.

PERSONS WHO WISH TO ADDRESS THE ZONING ADMINISTRATOR DURING PUBLIC COMMENT OR WITH RESPECT TO AN ITEM THAT IS ON THE AGENDA MAY DO SO EITHER ONLINE OR BY TELEPHONE. IF ACCESSING THE MEETING ONLINE, REQUEST TO SPEAK BY CLICKING THE "RAISE HAND" FUNCTION. IF ACCESSING THE MEETING BY TELEPHONE, REQUEST TO SPEAK BY DIALING #2.

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NOTICE: The Zoning Administrator may alter the order of agenda items at the meeting.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 674-7792.

1. PUBLIC COMMENTS:

2. NOTICE OF FINE APPEAL: PUBLIC HEARING

- 2a. ELENO & ALEX SAUCEDO (Owners), County File # BIRF19-00288: This is a hearing on the appeal for the Notice of Fine issued in the total amount of \$14,300.00, at the property located at 50 Broadway Road, Bethel Island. (APN 032-040-028) (Zoning: A-2) The Notice of Fine was issued as part of a code enforcement case for activity in violation of Title 8 of the Contra Costa County Ordinance. CF [Staff Report](#)

3. LAND USE PERMIT: PUBLIC HEARING

- 3a. MOUNTAIN REMEDY INC., C/O ROBERT SPEARIN (Applicant) - CENTER AVENUE PROPERTIES, C/O EDWARD PIKE (Owner), County File #CDLP20-02013: The applicant requests approval of a land use permit to allow the establishment of Mountain Remedy Inc., a commercial cannabis delivery business (which includes a call center), serving recreational and medicinal cannabis clients. The cannabis delivery business is proposed within an existing 4,275 square-foot tenant space in an industrial/commercial business park located at 111 Center Avenue, Suite H/I, in the Pacheco area of unincorporated Contra Costa County. The proposed

cannabis delivery business would operate under a California Type 9 – Non-storefront delivery license and in accordance with applicable County ordinances. (Zoning: Light Industrial, L-I)(Assessor's Parcel Number: 125-031-007) SJ [Staff Report](#)

4. DEVELOPMENT PLAN: PUBLIC HEARING

- 4a. YUAN GAO (Applicant & Owner), County File #CDDP21-03003: A request for approval of a Development Plan for a Kensington Design Review to allow additions to the residence that total 1,194 square-feet, which results in a gross floor area that exceeds the threshold standard of 4,100 square-feet. The subject property is located at 117 Purdue Avenue in the unincorporated Kensington area. (Zoning: Single-Family Residential (R-6), Kensington Combining District (-K), Tree Obstruction of Views Combining District (-TOV); APN: 572-060-016) DV [Staff Report](#)

3:30 P.M.

1. PUBLIC COMMENTS

2. SCOPING SESSION: PUBLIC HEARING

- 2a. MARATHON PETROLEUM CORPORATION (Applicant & Owner), County File #CDLP20-02046: This is a Scoping Session to accept public comments in determining the scope and content of an Environmental Impact Report that is to be prepared for the Marathon Martinez Refinery Renewable Fuels Project. The proposed project would repurpose the existing Martinez Refinery to discontinue refining of crude oil and switch to production of fuels from renewable feedstock sources including rendered fats, fish oils, soybean and corn oil, and other cooking and vegetable oils, but excluding palm oil. Some existing refinery equipment would be altered or replaced, and additional new equipment units and tanks would be installed, to facilitate production of fuels from renewable feedstock. Crude oil processing equipment that cannot be repurposed for processing of renewable feedstock would be shut down. Upon completion of facility changes, the refinery is anticipated to process approximately 48,000 bpd of fresh renewable feeds and would produce renewable diesel fuel, renewable propane, renewable naphtha, and potentially, renewable aviation fuel. Product from the refinery would be distributed by truck to other distribution locations within the San Francisco Bay Area. Product would also be transported to destinations outside of the Bay Area by ship. The project site is located at 150 Solano Way, in unincorporated Contra Costa County. (Zoning (H-I) Heavy Industrial District); (APN: 159-260-013 (Primary)); (CEQA: This is a hearing to allow the Zoning Administrator to accept public comments/concerns in determining the scope and content of an Environmental Impact Report that is to be prepared for the Marathon Martinez Refinery Renewable Fuels project) JWL [Staff Report](#)

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, APRIL 5, 2021.

RECEIVED

MAR 12 2021

NOTICE OF A PUBLIC HEARING

BY: 

On WEDNESDAY, MARCH 24, 2021 at 6:30 p.m., the Contra Costa County Planning Commission Board of Appeals will hold a public hearing to consider an application for a COMPLIANCE REVIEW as described below.

JOHN AND LORI RAMIREZ (Applicants & Owners) - CITIZENS FOR RESPONSIBLE MOTORCROSS (Appellants); County File# CDCV17-00068: This is an appeal of the Zoning Administrator's December 7, 2020 decision to accept a compliance review and find the park in compliance with the conditions of approval. The Zoning Administrator's decision was for a continued compliance review hearing from August 6, 2018, which was continued indefinitely to allow the park operators and staff to complete the processing of file# CDLP18-02013 which modifies file# CDLP15-02040 primarily for the purpose of raising the allowed sound levels to 75 dBA Ldn for sponsored racing events and increase permitted sound levels to 70 dBA Ldn for all other riding activities. The project site is located at 50 Camino Diablo Road in the unincorporated Brentwood area. (Zoning: (A-3) Heavy Agricultural District) (APN: 003-020-048)

To slow the spread of COVID-19, the County Health Officer's Shelter Order of December 16, 2020, prevents public gatherings. In lieu of a public gathering, the County Planning Commission meeting will be accessible via live-streaming to all members of the public as permitted by the Governor's Executive Order N29-20. Members of the public can view and listen to the meeting via Contra Costa County Streaming Media Service, which can be found at:

https://contra-costa.granicus.com/ViewPublisher.php?view_id=14

Persons who wish to address the Commission may submit public comments before or during the hearing via email to planninghearing@dcd.cccounty.us, or via voicemail at (925) 674-7792. The meeting agenda posted prior to the March 24, 2021 Commission meeting will provide additional information to members of the public as to how they may submit public comments. The meeting agenda will be posted not later than 96 hours prior to the start of the meeting and will be available at: <https://www.contracosta.ca.gov/AgendaCenter/County-Planning-Commission-82>.

For further details, contact the Contra Costa County Department of Conservation and Development, Gary Kupp at 925-674-7799 or Gary.Kupp@dcd.cccounty.us

If you challenge the project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the County at, or prior to, the public hearing.

John Kopchik, Director
Department of Conservation and Development

**COUNTY PLANNING COMMISSION
CONTRA COSTA COUNTY
WEDNESDAY, MARCH 24, 2021
30 MUIR ROAD
MARTINEZ, CALIFORNIA 94553**

RECEIVED

MAR 17 2021

BY: _____

CHAIR: Rand Swenson
VICE-CHAIR: Kevin Van Buskirk
COMMISSIONERS: Jeffrey Wright, Donna Allen, Bhupen Amin, Bob Mankin, Ross Hillesheim

NOTICE: Commission may change the order of items on the agenda at the beginning of the meeting.

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<https://cccounvty-us.zoom.us/j/82197403405>*

Meeting ID: 821 9740 3405

ACCESS THE MEETING BY TELEPHONE AT (888) 278-0254 FOLLOWED BY ACCESS CODE 198675##.

When accessing the meeting online by computer, you will be asked to either install a plug-in or to join by web browser. When accessing the meeting online by mobile device, you will be prompted to install an application. If you need assistance with your All commenters will be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting audio, please dial 888-796-6118. If you need assistance with your online access, please dial 888-793-6118.

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. The Commission Chair may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. Your patience is appreciated.

**** 6:30 P.M. ****

1. PUBLIC COMMENTS:
2. BOARD OF APPEALS: LAND USE PERMIT: PUBLIC HEARING
- 2a. JOHN AND LORI RAMIREZ (Applicants & Owners) - CITIZENS FOR RESPONSIBLE MOTORCROSS (Appellants), County File #CDLP18-02013: This is an appeal of the Zoning Administrator's December 7, 2020 approval to modify an existing land use permit (County File# CDLP15-02040) for an existing motorcycle recreation park that has been in operation since the early 1970s. The applicants propose to modify Condition of Approval #14 to increase permitted sound levels to 75 dBA Ldn for sponsored racing events and increase permitted sound levels to 70 dBA Ldn for all other riding activities. The applicants also request approval to allow overnight accommodations for race contestants at racing events, as well as the addition of a kids minibike track, and a proposed reduction of the allowed number annual racing events. The project site is located at 50 Camino Diablo Road in the unincorporated Brentwood area. (Zoning: (A-3) Heavy Agricultural District) (APN: 003-020-048) GK Staff Report

3. BOARD OF APPEALS: COMPLIANCE REVIEW: PUBLIC HEARING
- 3a. JOHN AND LORI RAMIREZ (Applicants & Owners) - CITIZENS FOR RESPONSIBLE MOTORCROSS (Appellants); County File# CDCV17-00068: This is an appeal of the Zoning Administrator's December 7, 2020 decision to accept a compliance review and find the park in compliance with the conditions of approval. The Zoning Administrator's decision was for a continued compliance review hearing from August 6, 2018, which was continued indefinitely to allow the park operators and staff to complete the processing of file# CDLP18-02013 which modifies file# CDLP15-02040 primarily for the purpose of raising the allowed sound levels to 75 dBA Ldn for sponsored racing events and increase permitted sound levels to 70 dBA Ldn for all other riding activities. The project site is located at 50 Camino Diablo Road in the unincorporated Brentwood area. (Zoning: (A-3) Heavy Agricultural District) (APN: 003-020-048) GK Staff Report
4. STAFF REPORT:
5. COMMISSIONERS' COMMENTS:
6. COMMUNICATIONS:

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE ON WEDNESDAY, APRIL 14, 2021.



Sent Via E-Mail: lea.castleberry@bos.cccounty.us

March 25, 2021

RECEIVED

MAR 26 2021

BY: _____

87 Carol Lane
P.O. Box 127
Oakley, CA 94561-0127
925-625-3798
Fax 925-625-0814
www.diablowater.org

Directors:
Paul Seger
President

Scott R. Pastor
Vice President

Kenneth L. Crockett
Marilyn M. Tieman
Joe Kovalick

General Manager
& Secretary:
Daniel Muelrath

General Counsel:
Wesley A. Miliband

Mr. Andrew Steudle, Chair
c/o Lea Castleberry
Knightsen Town Advisory Council
3361 Walnut Blvd, Suite 140
Brentwood, CA 94513

Subject: Diablo Water District's 2020 Urban Water Management Plan

Dear Mr. Steudle,

Diablo Water District (DWD) is currently updating its Urban Water Management Plan which will be submitted to the State of California's Department of Water Resources (DWR) in June 2021.

DWD is required by the California Water Code to update and adopt an UWMP and submit a completed plan to DWR every five years.

In compliance with the California Water Code, DWD is providing this notice to encourage involvement in the update of the UWMP.

DWD's Draft 2020 UWMP is expected to be released in early May 2021. A public hearing will be held in May 2021 to provide an opportunity to comment on the Draft 2020 UWMP.

If you have any questions or if you would like additional information, please contact Christine Belleci via email at cbelleci@diablowater.org or by phone at 925-625-0588.

Sincerely,

Dan Muelrath
General Manager

CONTRA COSTA COUNTY ZONING ADMINISTRATOR

MONDAY, APRIL 5, 2021

30 MUIR ROAD

MARTINEZ, CA 94553

RECEIVED

MAR 30 2021

1:30 P.M.

BY: _____

To slow the spread of COVID-19, the Health Officer's Shelter Order of March 10, 2021, prevents public gatherings (Health Officer Order). In lieu of a public gathering, the County Zoning Administrator meeting will be accessible via television and live-streaming to all members of the public as permitted by the Governor's Executive Order N29-20.

Zoning Administrator meetings can be accessed live either online or by telephone.

ACCESS THE MEETING LIVE ONLINE AT <https://cccounvty-us.zoom.us/j/83220999148>

Meeting ID: 832 2099 9148

ACCESS THE MEETING BY TELEPHONE AT (888) 278-0254 FOLLOWED BY ACCESS CODE 198675##.

When accessing the meeting online by computer, you will be asked to either install a plug-in or to join by web browser. When accessing the meeting online by mobile device, you will be prompted to install an application.

PERSONS WHO WISH TO ADDRESS THE ZONING ADMINISTRATOR DURING PUBLIC COMMENT OR WITH RESPECT TO AN ITEM THAT IS ON THE AGENDA MAY DO SO EITHER ONLINE OR BY TELEPHONE. IF ACCESSING THE MEETING ONLINE, REQUEST TO SPEAK BY CLICKING THE "RAISE HAND" FUNCTION. IF ACCESSING THE MEETING BY TELEPHONE, REQUEST TO SPEAK BY DIALING #2.

PUBLIC COMMENTS MAY ALSO BE SUBMITTED BEFORE THE MEETING BY EMAIL AT planninghearing@dcd.cccounty.us OR BY VOICEMAIL AT (925) 674-7792.

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If you wish to view the meeting only, but not participate, the meeting can be viewed at http://contra-costa.granicus.com/ViewPublisher.php?view_id=13.

NOTICE: The Zoning Administrator may alter the order of agenda items at the meeting.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 674-7792.

1. PUBLIC COMMENTS:

2. MINOR SUBDIVISION: PUBLIC HEARING

- 2a. THOMAS KREHBIEL (Applicant) - JEFF AND NANCY WIEDEMANN (Owners), County File CDMS21-00002: The applicant is requesting approval of a Minor Subdivision application for the previously approved two-lot MS15-0009 Minor Subdivision for the 172.61-acre Wiedemann Ranch, as modified by Compliance Review CV18-0005. MS15-0009 was approved on July 3, 2017 and Compliance Review CV18-0005 was approved on December 3, 2018. The minor subdivision created a 91.40-acre Parcel A and an 81.21-acre Parcel B. The modifications allowed a 1.26-acre Preferred Alternative Building Site on Parcel A. The application includes a request to grant the exceptions to the requirements and regulations of County Code Title 9, including exceptions to Section 96-14.002, Chapter 96-10, Section 96-14.004, and Section 914-14.012. The property is located 6989 Highland Road in the Tassajara Valley area in unincorporated Contra Costa County. (Zoning: A-80, Exclusive Agricultural District) (Assessor's Parcel Number: 205-020-015) SM Staff Report

3. DEVELOPMENT PLAN: PUBLIC HEARING

- 3a. CRAIG AND KRISTINE HAMM (Applicant and Owner), County File #CDDP18-03039: The applicant requests approval of a development plan and small lot design review for a 579 sq. ft. addition to an existing 1,902 sq. ft. single-story residence. The subject property is located at 21 Parlington Court in the Alamo area. (Zoning: R-20 Single-Family Residential District (R-20)) (APN: 188-330-011) JL Staff Report

4. TREE PERMIT: PUBLIC HEARING

- 4a. GREG SPALASSO (Applicant) - FAITH BAKER (Owner), County File #CDTP20-00025: A request for approval of a Tree Permit and Small Lot Design Review to demolish the existing residence to construct a new 26-foot tall, single-story, approximately 2,751 square-foot single-family residence with a 557 square-foot attached garage, and a swimming pool in the rear yard, which requires the removal of nineteen (19) code-protected trees. The subject property is located at 125 Camille Court in the Alamo area. (Zoning: Single-Family Residential (R-20); APN: 201-040-020) DV Staff Report

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, APRIL 19, 2021.

~ C A N C E L L E D ~

COUNTY PLANNING COMMISSION
CONTRA COSTA COUNTY
WEDNESDAY, APRIL 14, 2021
30 MUIR ROAD, MARTINEZ, CA 94553

RECEIVED

APR 07 2021

REVISED

BY: _____

CHAIR: Rand Swenson
VICE-CHAIR: Kevin Van Buskirk
COMMISSIONERS: Jeffrey Wright, Donna Allen, Bhupen Amin, Bob Mankin, Ross Hillesheim

NOTICE: Commission may change the order of items on the agenda at the beginning of the meeting.

No new items involving the opportunity for public hearing will be considered by the Commission after 10:00 P.M. unless specifically authorized by a unanimous vote of the Commission present. The Commission will adjourn at 10:30 P.M. unless there is a unanimous consent to continue. Items not heard may be rescheduled to the next meeting.

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**** 6:30 P.M. ****

1. PUBLIC COMMENTS:
2. STAFF REPORT:
3. COMMISSIONERS' COMMENTS:
4. COMMUNICATIONS:

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE ON WEDNESDAY, APRIL 28, 2021.

Staff reports prepared for hearing items may be obtained by calling the Community Development Division at (925) 674-7205 or by visiting our office at 30 Muir Road, Martinez, California. Environmental Impact Reports have been prepared for each of the agenda items indicated by an asterisk (*).

Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the Community Development Division to a majority of members of the County Planning Commission less than 72 hours prior to that meeting are available for public inspection at the Community Development Division of the Department of Conservation and Development, 30 Muir Road, Martinez, California during normal business hours.

Information about this hearing may be obtained online from the Contra Costa County website at <http://www.co.contra-costa.ca.us> under the Department of Conservation & Development's homepage, Commission and Committees and County Planning Commission. Recordings of this hearing are available for reviewing or copying purposes at the Community Development Division of the Department of Conservation and Development, 30 Muir Road, Martinez, California during normal business hours. We are open continuously from 7:30 a.m. to 5:00 p.m. Monday through Thursday and 7:30 a.m. to 4:00 p.m. on Friday. Advance arrangements may be made by calling (925) 674-7205.

CONTRA COSTA COUNTY ZONING ADMINISTRATOR

MONDAY, APRIL 19, 2021

30 MUIR ROAD
MARTINEZ, CA 94553

RECEIVED

APR 15 2021

BY: _____

1:30 P.M.

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Meeting ID: 878 2745 5681

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1. PUBLIC COMMENTS:

2. SUBDIVISION: PUBLIC HEARING

- 2a. CASTLE COMPANIES (Applicant and Owner), County File #CDS18-09504: The proposed project consists of the following requests: (1) approval of a Vesting Tentative Map for a 6-lot major subdivision of a 3.62-acre parcel with proposed lot sizes ranging from 23,469 up to 28,414 square feet, with no home development proposed at this time; (2) a Tree Permit to remove 127 code-protected trees, and for earthwork and construction activities in the dripline of one code-protected 45-inch Valley Oak tree that is to be preserved; (3) a Grading Permit to grade approximately 15,000 cubic yards of earth material, for the construction of the subdivision's private roadway, building areas, drainage facilities, and soil remediation consisting of excavation of approximately 5,600 cubic yards of soil contaminated with arsenic, lead, chlordane and dieldrin, and disposal of the soil to an off-site permitted facility; and (4) exceptions to Subdivision Ordinance Title 9 of the County Code in order to forego underground utility requirements and road improvements along Danville Boulevard. The project site is located at 977 Danville Boulevard in the unincorporated Alamo area. (Zoning (R-20) Single Family Residential District) (APN: 201-010-007) GK Staff Report

3. LAND USE PERMIT: PUBLIC HEARING

- 3a. SHANE WOODRUFF ON BEHALF OF T-MOBILE (Applicant) - MING YUENG AND JIA YIN LIU (Owners), County File #CDLP20-02041: This is an application for a land use permit to renew an existing T-Mobile wireless telecommunications facility and substantially modify the facility to remove the existing 35-foot light pole facility and replace with a new 46-foot monopine pole facility in the same approximate location. The modification will include nine new antennas located on the monopine pole, and associated equipment located within the existing cabinet enclosure. The subject property is located 4068 San Pablo Dam Road in the El Sobrante area. (Zoning: Planned Unit (P-1) District) (APN: 420-192-051) GF Staff Report
- 3b. THOMAS SHERIDAN (Applicant) - GS&L OMAHA LLC (Owner), County File #CDLP20-02051: A request for approval of a Land Use Permit and Development Plan to allow the establishment of a cannabis non-storefront, delivery only business that requires tenant improvements to the existing commercial tenant space in which it will be located. The subject property is located at 5807 Pacheco Boulevard in the Pacheco area of unincorporated Contra Costa County. (Zoning: Retail-Business (R-B); APN: 125-032-004) DV Staff Report
- 3c. SERGIO PERERA CARRILLO (Applicant) - RICHARD STEPHENSON (Owner), County File #CDLP20-02052: A request for approval of a land use permit application to establish a financial institution and check cashing business, DoEx Dollar Express, Inc., within an existing 60 square-foot office space within an existing grocery store, Mi Tierra. No tenant improvements are proposed at this time. No signage (interior or exterior) is proposed at this time. The property is located at 3005 Willow Pass Road, in the Bay Point area of unincorporated Contra Costa County. (Zoning: Bay Point Planned Unit District, P-1) (Assessor's Parcel Number: 093-061-005) SJ Staff Report

4. DEVELOPMENT PLAN: PUBLIC HEARING

- 4a. JOHN YERINA (Applicant) - NEW HOPE BIBLE FELLOWSHIP (Owner), County File# CDDP20-03006: This is a request for a Substantial Modification to Final Development Plan #DP04-3096 to allow the existing commercial building on Lot 7 of the Willow Pass Business Park to be used as a church. The use will occur within an existing building and no development or construction is proposed. The building's existing design is consistent with the business park's architecture and will not be altered. Only interior tenant renovations are needed to implement the project. The project site is located at 1700 Willow Pass Court in the unincorporated Concord area. (Zoning (P-1) Planned Unit District) (APN: 099-210-007) GK Staff Report

5. COMPLIANCE REVIEW: PUBLIC HEARING

- 5a. RPCA SOLAR 3, LLC (Applicant) - THE ULRICH WINGRENS 1989 REVOCABLE TRUST (Owner), County File #CDCV21-00021: The applicant requests a modification to the Conditions of Approval for an approved land use permit (CDLP20-02029) for a Commercial Solar Energy Facility. The subject property is located northeast of the Byron Highway and Rankin Road intersection in the Byron area. (Zoning: A-2 General Agricultural (A-2) District and Solar Energy Generation (-SG) Combining District) (APN: 002-210-025) JL Staff Report

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, MAY 3, 2021.

COUNTY PLANNING COMMISSION

CONTRA COSTA COUNTY

WEDNESDAY, APRIL 28, 2021

30 MUIR ROAD

MARTINEZ, CALIFORNIA 94553

RECEIVED

APR 23 2021

BY: _____

CHAIR: Rand Swenson
VICE-CHAIR: Kevin Van Buskirk
COMMISSIONERS: Jeffrey Wright, Donna Allen, Bhupen Amin, Bob Mankin, Ross Hillesheim

NOTICE: Commission may change the order of items on the agenda at the beginning of the meeting.

To slow the spread of COVID-19, the Health Officer's Shelter Order of March 10, 2021, prevents public gatherings (Health Officer Order). In lieu of a public gathering, the County Planning Commission meeting will be accessible via television and live-streaming to all members of the public as permitted by the Governor's Executive Order N29-20.

Commission meetings can be accessed live either online or by telephone. ACCESS THE MEETING LIVE ONLINE AT
<https://cccouny-us.zoom.us/j/81313847869>

Meeting ID: 813 1384 7869

ACCESS THE MEETING BY TELEPHONE AT (888) 278-0254 FOLLOWED BY ACCESS CODE 198675##.

When accessing the meeting online by computer, you will be asked to either install a plug-in or to join by web browser. When accessing the meeting online by mobile device, you will be prompted to install an application. If you need assistance with your All commenters will be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting audio, please dial 888-796-6118. If you need assistance with your online access, please dial 888-793-6118.

PERSONS WHO WISH TO ADDRESS THE COMMISSION DURING PUBLIC COMMENT OR WITH RESPECT TO AN ITEM THAT IS ON THE AGENDA MAY DO SO EITHER ONLINE OR BY TELEPHONE. IF ACCESSING THE MEETING ONLINE, REQUEST TO SPEAK BY CLICKING THE "RAISE HAND" FUNCTION. IF ACCESSING THE MEETING BY TELEPHONE, REQUEST TO SPEAK BY DIALING #2.

PUBLIC COMMENTS MAY ALSO BE SUBMITTED BEFORE OR DURING THE MEETING BY EMAIL AT planninghearing@dcd.cccouny.us OR BY VOICEMAIL AT (925) 655-2860.

The Commission Chair may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. Your patience is appreciated.

**** 6:30 P.M. ****

1. PUBLIC COMMENTS:
2. GENERAL PLAN AMENDMENT: PUBLIC HEARING
- 2a. PANTAGES AT DISCOVERY BAY LLC (Applicant) - C&D DISCOVERY BAY LLC AND WATERFRONT LOTS LLC (Owners), County File #CDGP19-00002: The applicant is requesting approval of a General Plan Amendment to re-designate the project site from Single-Family Residential-High Density (SH), Single-Family Residential-Medium Density (SM), Open Space (OS), Water (WA), and Public/Semi-Public (PS) to Single-Family Residential-High Density (SH), Open Space (OS), Water (WA), and Parks and Recreation (PR). The approximately 162-acres project site is located at the eastern end of Point of Timber Road and bounded on the east and south by the original Discovery Bay community, to the west by Ravenswood and Lakeshore (Village II) in Discovery Bay West and to the north/northeast by waterways and undeveloped land. [Zoning: Planned Unit District (P-1), Urban Farm Animal Exclusion Overlay (UE)] [APNs: 004-010-006; 004-032-005, -006, -007, -062; 011-220-010, -017, -018; 011-230-006, -007] JC Staff Report

3. REZONING: PUBLIC HEARING

- 3a. PANTAGES AT DISCOVERY BAY LLC (Applicant) - C&D DISCOVERY BAY LLC AND WATERFRONT LOTS LLC (Owners), County File #CDRZ19-03252: The applicant requests approval of a rezoning of the project site from Planned Unit District (P-1), Urban Farm Animal Exclusion Overlay (UE) to a modified configuration of Planned Unit District (P-1), Urban Farm Animal Exclusion Overlay (UE). The approximately 162-acres project site is located at the eastern end of Point of Timber Road and bounded on the east and south by the original Discovery Bay community, to the west by Ravenswood and Lakeshore (Village II) in Discovery Bay West and to the north/northeast by waterways and undeveloped land. [Zoning: Planned Unit District (P-1), Urban Farm Animal Exclusion Overlay (UE)] [APNs: 004-010-006; 004-032-005, -006, -007, -062; 011-220-010, -017, -018; 011-230-006, -007] JC Staff Report

4. SUBDIVISION: PUBLIC HEARING

- 4a. PANTAGES AT DISCOVERY BAY LLC (Applicant) - C&D DISCOVERY BAY LLC AND WATERFRONT LOTS LLC (Owners), County File #CDSD19-09527: The applicant requests approval of a subdivision of the project site into 277 single-family residential lots and 18 Common Area Parcels. The approximately 162-acres project site is located at the eastern end of Point of Timber Road and bounded on the east and south by the original Discovery Bay community, to the west by Ravenswood and Lakeshore (Village II) in Discovery Bay West and to the north/northeast by waterways and undeveloped land. [Zoning: Planned Unit District (P-1), Urban Farm Animal Exclusion Overlay (UE)] [APNs: 004-010-006; 004-032-005, -006, -007, -062; 011-220-010, -017, -018; 011-230-006, -007] JC Staff Report

5. DEVELOPMENT PLAN: PUBLIC HEARING

- 5a. PANTAGES AT DISCOVERY BAY LLC (Applicant) - C&D DISCOVERY BAY LLC AND WATERFRONT LOTS LLC (Owners), County File #CDDP19-03024: The applicant requests approval of a final development plan to allow for the residential lots and common area parcels, which includes two lakes with bio-retention areas, public roads, open space areas, parks and two trail systems, a future clubhouse, and a flexible recreational area. The project also includes the removal of approximately 23 trees. The approximately 162-acres project site is located at the eastern end of Point of Timber Road and bounded on the east and south by the original Discovery Bay community, to the west by Ravenswood and Lakeshore (Village II) in Discovery Bay West and to the north/northeast by waterways and undeveloped land. [Zoning: Planned Unit District (P-1), Urban Farm Animal Exclusion Overlay (UE)] [APNs: 004-010-006; 004-032-005, -006, -007, -062; 011-220-010, -017, -018; 011-230-006, -007] JC Staff Report

6. STAFF REPORT:

7. COMMISSIONERS' COMMENTS:

8. COMMUNICATIONS: On March 23, 2021, the Board of Supervisors heard the appeal of the County Planning Commission's denial of a land use permit for an indoor commercial cannabis business located at 4425 Sellers Avenue in unincorporated Brentwood area. The Board unanimously granted the land use permit and overturned the County Planning Commission's denial of the permit. The Board of Supervisors in its decision to approve the use permit also determined that Sunset Park was not a "youth center" and made all the findings for approval of the use permit.

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE ON WEDNESDAY, MAY 12, 2021.

CONTRA COSTA COUNTY ZONING ADMINISTRATOR

MONDAY, MAY 3, 2021

30 MUIR ROAD

MARTINEZ, CA 94553

RECEIVED

APR 29 2021

BY: _____

1:30 P.M.

To slow the spread of COVID-19, the Health Officer's Shelter Order of March 10, 2021, prevents public gatherings (Health Officer Order). In lieu of a public gathering, the County Zoning Administrator will be accessible live online or by telephone to all members of the public as permitted by the Governor's Executive Order N29-20.

Zoning Administrator meetings can be accessed live either online or by telephone.

ACCESS THE MEETING LIVE ONLINE AT <https://cccouny-us.zoom.us/j/84882018977>

Meeting ID: 848 8201 8977

ACCESS THE MEETING BY TELEPHONE AT (888) 278-0254 FOLLOWED BY ACCESS CODE 198675##.

When accessing the meeting online by computer, you will be asked to either install a plug-in or to join by web browser. When accessing the meeting online by mobile device, you will be prompted to install an application.

PERSONS WHO WISH TO ADDRESS THE ZONING ADMINISTRATOR DURING PUBLIC COMMENT OR WITH RESPECT TO AN ITEM THAT IS ON THE AGENDA MAY DO SO EITHER ONLINE OR BY TELEPHONE. IF ACCESSING THE MEETING ONLINE, REQUEST TO SPEAK BY CLICKING THE "RAISE HAND" FUNCTION. IF ACCESSING THE MEETING BY TELEPHONE, REQUEST TO SPEAK BY DIALING #2.

PUBLIC COMMENTS MAY ALSO BE SUBMITTED BEFORE THE MEETING BY EMAIL AT planninghearing@dcd.cccounty.us OR BY VOICEMAIL AT (925) 674-7792.

All commenters will be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting. The Zoning Administrator may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. Your patience is appreciated.

If you wish to view the meeting only, but not participate, the meeting can be viewed at http://contra-costa.granicus.com/ViewPublisher.php?view_id=13.

NOTICE: The Zoning Administrator may alter the order of agenda items at the meeting.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 674-7792.

1. PUBLIC COMMENTS:

2. DEVELOPMENT PLAN: CONTINUED PUBLIC HEARING

- 2a. JOHN YERINA (Applicant) - NEW HOPE BIBLE FELLOWSHIP (Owner), County File# CDDP20-03006: This is a request for a Substantial Modification to Final Development Plan #DP04-3096 to allow the existing commercial building on Lot 7 of the Willow Pass Business Park to be used as a church. The use will occur within an existing building and no development or construction is proposed. The building's existing design is consistent with the business park's architecture and will not be altered. Only interior tenant renovations are needed to implement the project. The project site is located at 1700 Willow Pass Court in the unincorporated Concord area. (Zoning (P-1) Planned Unit District) (APN: 099-210-007) (Continued from 04/19/2021 TM) GK Staff Report

3. LAND USE PERMIT: PUBLIC HEARING

- 3a. ANTHONY LOFORTE (Applicant & Owner), County File #CDLP20-02044: A request for approval of a Land Use Permit to allow the maximum resident capacity to go from 6 to 12 for the Alhambra Valley Retreat, an existing 24 hour residential treatment program for adult males suffering from alcohol and/or substance abuse, which is currently licensed and certified by the State of California, Department of Health Care Services. Minor interior and exterior improvements will be required to accommodate the change in occupancy type. The subject property is located at 77 Quail Lane in the unincorporated Martinez area of Contra Costa County. (Zoning: General Agricultural (A-2); APN: 365-110-022) DY Staff Report
4. DEVELOPMENT PLAN: PUBLIC HEARING
- 4a. GARY GUENTHER (Applicant) - JOHN NUVEEN (Owner), County File #CDDP20-03025: This is an application for a Kensington Design Review Development Plan for a two story, 664-square-foot master bedroom and kitchen addition to the rear of a single-family residence. The addition will increase the total height of the residence by 5-feet 8-inches at the highest point and will result in an overall height of 27-feet 6-inches. The subject property is located at 425 Ocean View Avenue in the Kensington area. (Zoning: Single-Family Residential (R-6), Tree Obstruction of Views (-TOV), and Kensington (-K) Combining Districts) (APN: 571-270-022) GF Staff Report
5. VARIANCE: PUBLIC HEARING
- 5a. DAVE BRADY (Applicant) - LEIGHTON SMITH (Owner), County File #CDVR18-01008: A request for approval of variances with a tree permit for construction of a new approximately 3,770 square-foot single-family residence on a vacant lot. The variances are to allow a 0-foot secondary front yard where a minimum of 15-feet is required, and a 1-foot side yard where a minimum of 10-feet is required. A tree permit for the removal of four code-protected trees ranging in size from 12" to 26" and to allow work within the dripline of four code-protected trees ranging in size from 7" to 52" is also requested. The subject property is located at 237 Sequoia Avenue in the Walnut Creek area. (Zoning: Single-Family Residential (R-10) District) (APN: 184-321-042) GF Staff Report
6. TREE PERMIT: PUBLIC HEARING
- 6a. JEFF ORWIG (Applicant) - JACK BHALLA (Owner), County File #CDTP20-00006: The applicant seeks Tree Permit approval to authorize the removal of sixteen (16) code-protected trees and dripline encroachment for an additional two code-protected trees for the purpose of constructing a 4,312 square-foot single-family residence, attached garage, retaining walls, and associated access / utility improvements. The project also includes a request for design review approval to allow the construction of the proposed residence on a parcel (APN 196-031-011) of substandard average width. The project site is located at 221 Dean Road in Alamo. The project involves 1,200 cubic yards of grading for site preparation for the proposed residence and retaining walls. Lastly, the project includes off-site drainage and private roadway improvements affecting APN's 196-031-010, 196-010-031, 196-032-008, 196-032-009. (Zoning: R-40 Single-Family Residential) (APN: 196-031-011) AV Staff Report

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, MAY 17, 2021.

**COUNTY PLANNING COMMISSION
CONTRA COSTA COUNTY
WEDNESDAY, MAY 12, 2021
30 MUIR ROAD
MARTINEZ, CALIFORNIA 94553**

RECEIVED

MAY - 5 2021

BY: _____

CHAIR: VACANT
VICE-CHAIR: Kevin Van Buskirk
COMMISSIONERS: Jeffrey Wright, Donna Allen, Bhupen Amin, Bob Mankin, Ross Hillesheim

NOTICE: Commission may change the order of items on the agenda at the beginning of the meeting.

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<https://cccouny-us.zoom.us/j/84344825026>

Meeting ID: 843 4482 5026

ACCESS THE MEETING BY TELEPHONE AT (888) 278-0254 FOLLOWED BY ACCESS CODE 198675##.

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planninghearing@dcd.cccounty.us OR BY VOICEMAIL AT (925) 655-2858.

The Commission Chair may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. Your patience is appreciated.

**** 6:30 P.M. ****

1. PUBLIC COMMENTS:
2. SELECTION OF CHAIR AND VICE CHAIR
3. BOARD OF APPEALS: MINOR SUBDIVISION; PUBLIC HEARING:
- 3a. SEAN AND JULIE REID, AIMEE AND MANNY MATTOS, BARBARA YOUNG, WHITE GATE HOMEOWNERS CORPORATION (Appellants) - SCOTT GREENWOOD-MEINERT (Applicant) - ST. MORITZ DORF, LLC, C/O PIERRE WILDMAN (Owner), County File #CDMS20-00003: This is an appeal of the Zoning Administrator's decision to approve a vesting tentative map for a one-lot minor subdivision application that would subdivide the subject 101.52-acre parcel into a 22.91-acre residential parcel (Parcel A) and a 78.61-acre designated remainder parcel. No development is proposed at this time. The applicant is also requesting an exception from the collect and convey requirements specified in Chapter 914-2 of the County's Subdivision Ordinance. In addition, the applicant will be required to annex into the Community Facilities District (CFD) 2010-1 formed for the Countywide Street Light Financing. The subject property is located at 10 Serenity Lane in the Alamo area of unincorporated Contra Costa County. (Zoning: Planned Unit District, P-1) (Assessor's Parcel Number: 194-070-078). SJ Staff Report
4. STAFF REPORT:

5. COMMISSIONERS' COMMENTS:
6. COMMUNICATIONS:

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE ON WEDNESDAY, MAY 26, 2021.

RECEIVED

MAY - 4 2021

NOTICE OF A PUBLIC HEARING

BY: _____

On MONDAY, MAY 17, 2021, at 1:30 p.m., the Contra Costa County Zoning Administrator will hold a public hearing to consider an application for a LAND USE PERMIT as described below:

ROBERT SCHWENKE (Applicant) & VERA CORT (Owner); County File #CDLP18-02021: A request for approval of a Land Use Permit and Development Plan to allow the reconstruction of the Knightsen Saloon, an original building to the Knightsen Historic District, and to allow alcohol sales, takeout food, outdoor seating, and for the required off-street parking to be located on the adjacent parcel. The project includes Variance requests to allow a 0-foot front yard setback (where 10-feet is the minimum) for the saloon building, and Variance requests to the off-street parking requirements for surfacing, striping and markings, landscaping, and minimum distance from intersection to closest parking stall. The project also includes a request for approval of a Tree Permit to allow the removal of four code-protected trees and to work within the dripline of two code-protected trees. The project also includes an exception request to Title 9, Division 914 requirements to Collect and Convey. The subject properties are located at 3055 and 3041 Knightsen Avenue in the Knightsen area of unincorporated Contra Costa County. (Zoning: Retail Business (R-B); APNs: 020-073-004 & -005).

To slow the spread of COVID-19, the Health Officer's Shelter Order of March 10, 2021, prevents public gatherings (Health Officer Order). In lieu of a public gathering, the Zoning Administrator meeting will be accessible via television and live-streaming to all members of the public as permitted by the Governor's Executive Order N29-20. Members of the public can view and listen to the meeting via Contra Costa County Streaming Media Service, which can be found at: https://contra-costa.granicus.com/ViewPublisher.php?view_id=13

Persons who wish to address the Zoning Administrator may submit public comments before or during the hearing via email to planninghearing@dcd.cccounty.us. The meeting agenda posted prior to the May 17, 2021, Zoning Administrator meeting will provide additional information to members of the public as to how they may submit public comments. The meeting agenda will be posted not later than 96 hours prior to the start of the meeting and will be available at: <https://www.contracosta.ca.gov/4328/Zoning-Administrator>

For further details, contact the Contra Costa County Department of Conservation and Development, Dominique Vogelpohl at 925-655-2880 or Dominique.Vogelpohl@dcd.cccounty.us

If you challenge the project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the County at, or prior to, the public hearing.

John Kopchik, Director
Department of Conservation and Development